

# Kiawah Island

## SITE DEVELOPMENT OF OCEAN PINES

KIAWAH ISLAND, SOUTH CAROLINA

PREPARED FOR:  
**KRA, LP**  
1 KIAWAH ISLAND PARKWAY  
KIAWAH ISLAND, SC 29455  
(843) 768-3418

TM# 207-05-00-118

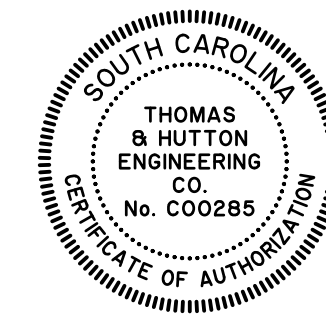
NOVEMBER 8, 2022

J-25854.0000

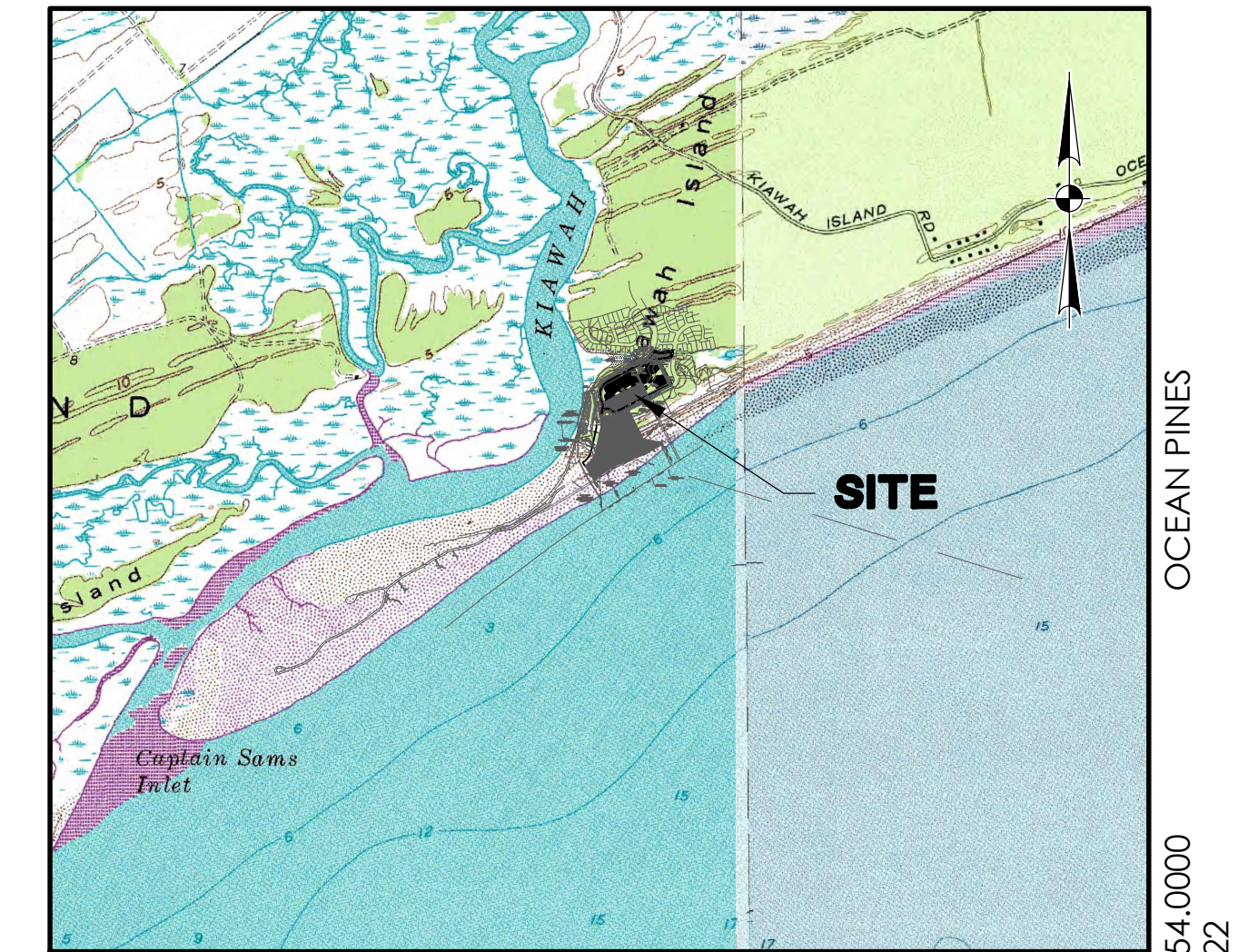
PREPARED BY:



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REVISION HISTORY			
REV. NO.	REVISION	BY	DATE



VICINITY MAP  
SCALE: 1" = 2000'

J-25854.0000  
11/8/22

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SUBMITTAL HISTORY	
SUBMITTED TO	DATE
SUBMITTED TO TOKI	9-8-2023
SUBMITTED TO TOKI	8-8-2023
SUBMITTED TO TOKI	5-26-2023
SUBMITTED TO DHEC	4-24-2023
SUBMITTED TO DHEC/OCRM	11-8-2022



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# Under Review

## PARKING TABLE

Submitted for Site Plan Review		PARKING SPACES REQUIRED				
BUILDING	USE/AGE	PARKING REQUIREMENT	CALCULATION		SPACES	
A	MULTIPLE FAMILY	1.75 OR 2 SPACES PER BEDROOM TYPE	2 BDRM 9X1.75=15.75	3 BDRM 3X2=6	4 BDRM 2X2=4	26
B	MULTIPLE FAMILY	1.75 OR 2 SPACES PER BEDROOM TYPE	9X1.75=15.75	3X2=6	2X2=4	26
C	MULTIPLE FAMILY	1.75 OR 2 SPACES PER BEDROOM TYPE	4X1.75=7	4X2=8	-	15
D	MULTIPLE FAMILY	1.75 OR 2 SPACES PER BEDROOM TYPE	4X1.75=7	4X2=8	-	15
E	MULTIPLE FAMILY	1.75 OR 2 SPACES PER BEDROOM TYPE	4X1.75=7	4X2=8	-	15
F	MULTIPLE FAMILY	1.75 OR 2 SPACES PER BEDROOM TYPE	4X1.75=7	4X2=8	-	15
G	MULTIPLE FAMILY	1.75 OR 2 SPACES PER BEDROOM TYPE	3X1.75=5.25	5X2=10	-	16
H	MULTIPLE FAMILY	1.75 OR 2 SPACES PER BEDROOM TYPE	3X1.75=5.25	5X2=10	-	16
J	MULTIPLE FAMILY	1.75 OR 2 SPACES PER BEDROOM TYPE	3X1.75=5.25	5X2=10	-	16
			TOTAL SPACES REQUIRED:		160	
ACCESSIBLE SPACES REQUIRED:			160/25		7	
PARKING SPACES PROVIDED						
ITEM	PROPOSED LOCATION		ACCESSIBLE SPACES	SPACES*		
A	SPACES PROVIDED WITHIN BUILDING FOOTPRINT		2	25		
B	SPACES PROVIDED WITHIN BUILDING FOOTPRINT		2	25		
C	SPACES PROVIDED WITHIN BUILDING FOOTPRINT		2	13		
D	SPACES PROVIDED WITHIN BUILDING FOOTPRINT		2	13		
E	SPACES PROVIDED WITHIN BUILDING FOOTPRINT		2	13		
F	SPACES PROVIDED WITHIN BUILDING FOOTPRINT		2	13		
G	SPACES PROVIDED WITHIN BUILDING FOOTPRINT		2	15		
H	SPACES PROVIDED WITHIN BUILDING FOOTPRINT		2	14		
J	SPACES PROVIDED WITHIN BUILDING FOOTPRINT		2	14		
ON SITE	SPACES PROVIDED OUTSIDE BUILDINGS (BY BUILDING F)**			31		
			TOTAL SPACES PROPOSED: (INCLUDES ACCESSIBLE)	176		
*INCLUDES ACCESSIBLE SPACES			ACCESSIBLE SPACES PROVIDED:	18		

\*\*ON SITE SPACES PROVIDED TO MEET SUPPLEMENTARY PARKING REQUIREMENTS FOR THE CAPE, INCLUDING 10 SPACES FOR THE RESTAURANT IN THE CLUB AND 4 SPACES FOR TWO SINGLE-FAMILY COTTAGES.



PROJECT MAP

SCALE: 1" = 400'

## GENERAL NOTES

- SURVEYING AND BOUNDARY INFORMATION BY SOUTHEASTERN LAND SURVEYING, LLC.
- ALL ELEVATIONS SHOWN ARE BASED ON NGVD 1929.
- TOPOGRAPHIC SURVEY BY SOUTHEASTERN LAND SURVEYING, LLC.
- CONTRACTOR IS TO VERIFY ACCURACY OF ANY TEMPORARY BENCHMARKS SHOWN PRIOR TO UTILIZING THEM FOR CONSTRUCTION.
- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES OTHER THAN THOSE SHOWN ARE ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE STEPS TO PROTECT THE LINE(S) AND ENSURE CONTINUED SERVICE. DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.
- IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREA AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL INSTALL ANY BARRICADES PRIOR TO BEGINNING CONSTRUCTION
- THE FOLLOWING NOTES ARE SPECIFIED BY THE KICA AND ARE TO BE EXECUTED BY THE CONTRACTOR FOR STREETS IN THE PROJECT WHICH ARE TO BE DEEDED TO KICA:
  - ANY DAMAGE TO EXISTING PAVEMENT MUST BE REPAIRED AT CONTRACTORS EXPENSE AND TO THE SATISFACTION OF KICA AND THE PROJECT ENGINEER.
  - ALL RIGHT-OF-WAY AND DRAINAGE EASEMENT CONSTRUCTION SHALL MEET TOWN OF KIAWAH ISLAND STANDARD SPECIFICATIONS UNLESS SPECIFIED ELSEWHERE AND APPROVED IN WRITING BY THE TOWN.
  - WHERE FIELD INSPECTIONS ARE REQUIRED BY THE TOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION A MINIMUM OF 48 HOURS IN ADVANCE TO SCHEDULE SUCH INSPECTIONS.
  - A COMPLETE SET OF APPROVED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK. THESE DRAWINGS SHALL BE MADE AVAILABLE UPON REQUEST.
  - ANY REVISIONS DURING CONSTRUCTION WHICH ALTER THE ROAD LAYOUT, CONSTRUCTION METHODS, RIGHT-OF-WAY LOCATION OR DRAINAGE MUST BE SUBMITTED AND APPROVED IN WRITING BY THE PROJECT ENGINEER.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS NECESSARY FROM OTHER RESPONSIBLE AGENCIES.
  - ALL TREES SHOWING DISTURBANCE WITHIN THE PROTECTED ROOT ZONE SHALL BE PRUNED AND FERTILIZED BY A CERTIFIED ARBORIST PRIOR TO RECEIVING FINAL PLAT APPROVAL (THIS WORK WILL BE DONE BY THE OWNER OUTSIDE OF THE CONTRACT.)
  - LAKE CONTOURS SHOWN HEREIN WILL PROVIDE A DEPTH ONE FOOT GREATER THAN NECESSARY FOR STORM WATER MANAGEMENT. THIS IS TO PROVIDE FOR ONE FOOT OF SILT BUILDUP DURING CONSTRUCTION OF ANY AREA OF ANY POND WHICH SILTS MORE THAN ONE FOOT ABOVE DESIGNED BOTTOM ELEVATION SHALL BE RESTORED TO THE MINIMUM ACCEPTABLE DEPTH OF ONE FOOT LESS THAN ORIGINAL CONSTRUCTED DEPTH.
  - ALL ABOVE GROUND UTILITIES ARE TO BE OUTSIDE OF THE R/W AND ALL AT GRADE UTILITIES ARE TO BE OUT OF THE CURB LINE.
- THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL AND PREVENTION STRUCTURES SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO BEGINNING ANY REMOVAL OPERATION.
- CONTRACTOR SHALL GRADE AREAS TO DRAIN FOR POSITIVE FLOW PRIOR TO FINAL APPROVAL.
- ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND "SOUTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BOTH CURRENT EDITIONS.
- ALL DRAINAGE WILL BE MADE FUNCTIONAL DAILY AS WORK PROGRESSES.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH TOWN OF KIAWAH ISLAND ROAD CODE.

PREPARED FOR:  
**KRA, LP**  
 1 KIAWAH ISLAND PARKWAY  
 KIAWAH ISLAND, SC 29455  
 (843) 768-3418

## GENERAL INFORMATION

COUNTY	CHARLESTON	OWNER:	SURVEYOR:
TOWN	TOWN OF KIAWAH ISLAND	KRA, LP	SOUTHEASTERN LAND SURVEYING, LLC
ZONING	R2 ZONING DISTRICT	1 KIAWAH ISLAND PARKWAY KIAWAH ISLAND, SC 29455 (843) 768-3418	1035-B JENKINS ROAD CHARLESTON, SC 29407 (843) 795-9330
TMS	207-05-00-118	ENGINEER:	ARCHITECT:
FLOOD	ZONE AE ELEV. 10	THOMAS & HUTTON 682 JOHNNIE DODDS BLVD. MT. PLEASANT, SC 29464 (843) 849-0200	HART HOWERTON 10 EAST 40TH STREET NEW YORK, NY 10016 (212) 683-5631

## SEWER LEGEND

DESCRIPTION	EXISTING	PROPOSED
GRAVITY PIPE	SS	SS
SINGLE SERVICE LATERAL	SS	SS
DOUBLE SERVICE LATERAL	SS	SS
MANHOLE	○	●
CLEANOUT	○	●

## WATER LEGEND

DESCRIPTION	EXISTING	PROPOSED
WATER MAIN	10"W	10"W
SINGLE SERVICE LATERAL	10"W	10"W
DOUBLE SERVICE LATERAL	10"W	10"W
VALVE AND BOX	⊗	⊗
FIRE HYDRANT W/VALVE & BOX	⊗	⊗
POST HYDRANT	⊗	⊗
REDUCER	▽	▽
BACKFLOW PREVENTOR	⊠	⊠
CROSS	⊥	⊥
TEE	⊥	⊥
90° BEND - HORIZONTAL	└	└
45° BEND - HORIZONTAL	└	└
22-1/2° BEND - HORIZONTAL	└	└
11-1/4° BEND - HORIZONTAL	└	└
BEND - VERTICAL	┆	┆
CAP	┆	┆

## ABBREVIATIONS

HOPE	HIGH DENSITY POLYETHELENE	LF	LINEAR FEET	SF	SQUARE FEET
BOT	BOTTOM	MAX	MAXIMUM	SS	SANITARY SEWER
CI	CURB INLET	MIN	MINIMUM	TC	TOP OF CURB
CPP	CORRUGATED PLASTIC PIPE	MH	MANHOLE	TG	TOP OF GUTTER
DIP	DUCTILE IRON PIPE	OC	ON CENTER	TP	TOP OF PAVEMENT
EL	ELEVATION	PC	POINT OF CURVE	TW	TOP OF WALK
FG	FINISH GRADE	PH	POST HYDRANT	TYP	TYPICAL
FH	FIRE HYDRANT	PT	POINT OF TANGENT	W	WATER
FM	FORCE MAIN (SANITARY SEWER)	PVC	POLYVINYL CHLORIDE	W/	WITH
FR	FRAME	RCP	REINFORCED CONCRETE PIPE	WV	WATER VALVE
GI	GRATE INLET	RJP	RESTRAINED JOINT PIPE	YI	YARD INLET
GV	GATE VALVE	R/W	RIGHT-OF-WAY		
INV	INVERT ELEVATION	SD	STORM DRAINAGE		
JB	JUNCTION BOX	SDMH	STORM DRAINAGE MANHOLE		

## DRAINAGE LEGEND

DESCRIPTION	EXISTING	PROPOSED
PIPE	---	---
DITCH	---	---
CURB INLET	⊗	⊗
GRATE INLET	⊗	⊗
JUNCTION BOX	⊗	⊗
OUTLET STRUCTURE	⊗	⊗

## OTHER UTILITIES LEGEND

DESCRIPTION	EXISTING
NATURAL GAS	UGG
TELEPHONE	OHT
UNDERGROUND TELEPHONE	UTL
ELECTRICITY	OHP
UNDERGROUND ELECTRICITY	UGP

NO.	REVISIONS	BY	DATE

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**KRA, LP**  
 KIAWAH ISLAND, SOUTH CAROLINA  
 OCEAN PINES  
**GENERAL NOTES AND PROJECT MAP**

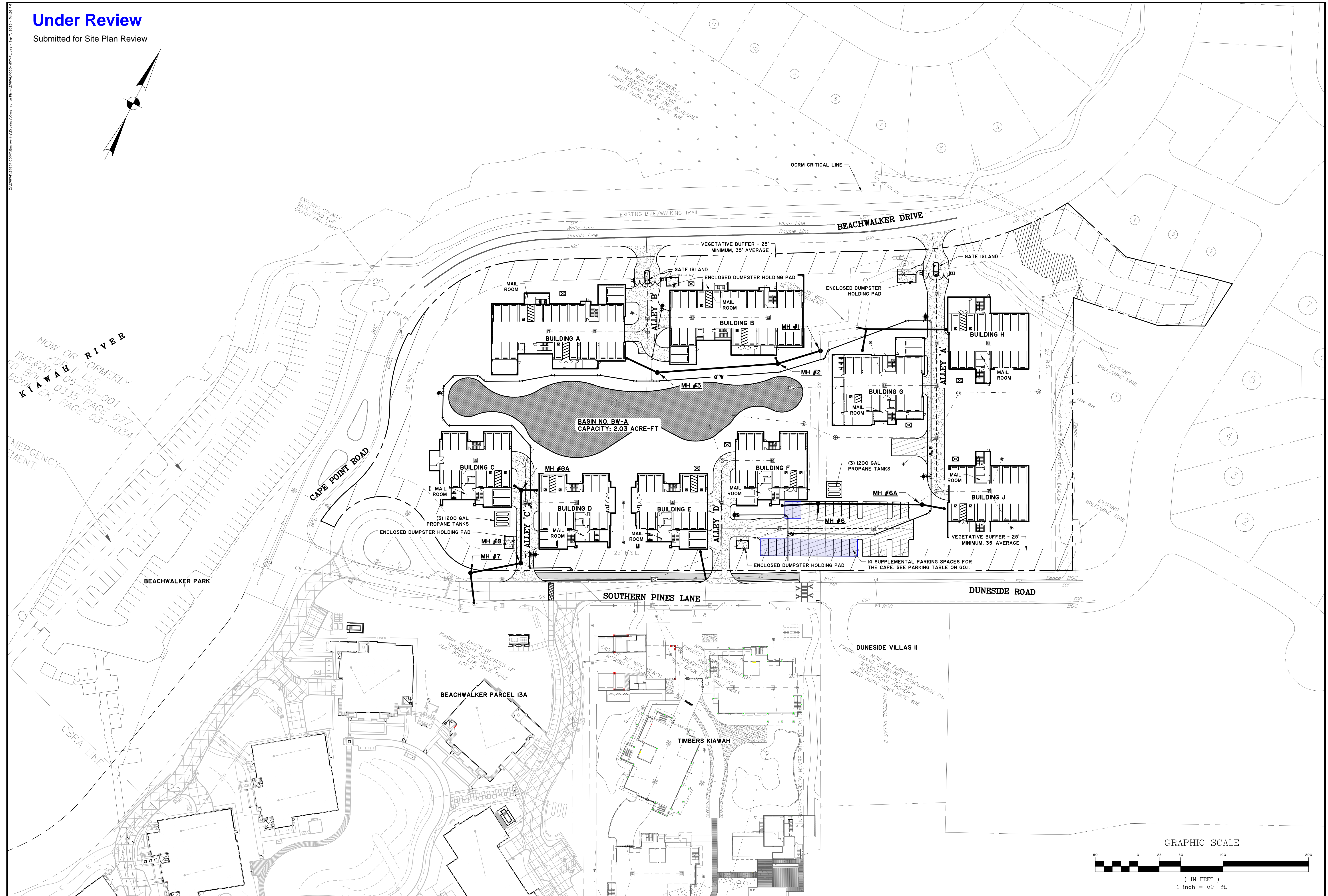
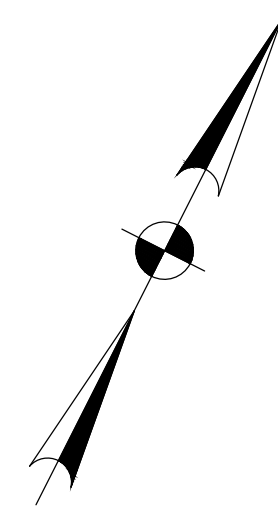
JOB NO:	J-25854.0000
DATE:	11/8/22
DRAWN:	LMD
DESIGNED:	LMD
REVIEWED:	DJJ
APPROVED:	DJJ
SCALE:	AS SHOWN

GO.1



**Under Review**

Submitted for Site Plan Review



NOW OR FORMERLY  
KIAWAH II, LLC  
TIMS#20-05-00-001  
ED BOOK 0335 PAGE 077  
50001 EK, PAGE 031-034

EMERGENCY  
MENT.

NOW OR FORMERLY  
KIAWAH RESORT ASSOCIATES LP  
TIMS#07-00-00-002  
KIAWAH ISLAND WEST END RESIDUAL  
DEED BOOK L215 PAGE 480

KIAWAH RESORT ASSOCIATES LP  
TIMS#07-00-00-122  
PLAT BOOK 118 PAGE 0243  
LOT 2

NOW OR FORMERLY  
TIMBERS KIAWAH ACQUISITION  
TIMS#20-00-00-029  
BEACHWALKER PROPERTY  
DEED BOOK N265 PAGE 406

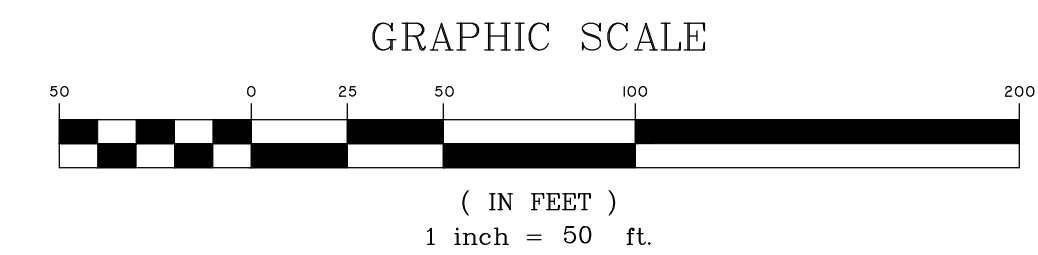
NOW OR FORMERLY  
KIAWAH ISLAND COMMUNITY ASSOCIATION INC.  
TIMS#07-00-00-029  
BEACHWALKER PROPERTY  
DEED BOOK N265 PAGE 406

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**KRA, LP**  
KIAWAH ISLAND, SOUTH CAROLINA  
**OCEAN PINES**  
**MASTER PLAN**

JOB NO:	J-25854.0000
DATE:	11/8/22
DRAWN:	LMD
DESIGNED:	LMD
REVIEWED:	DJJ
APPROVED:	DJJ
SCALE:	1" = 50'

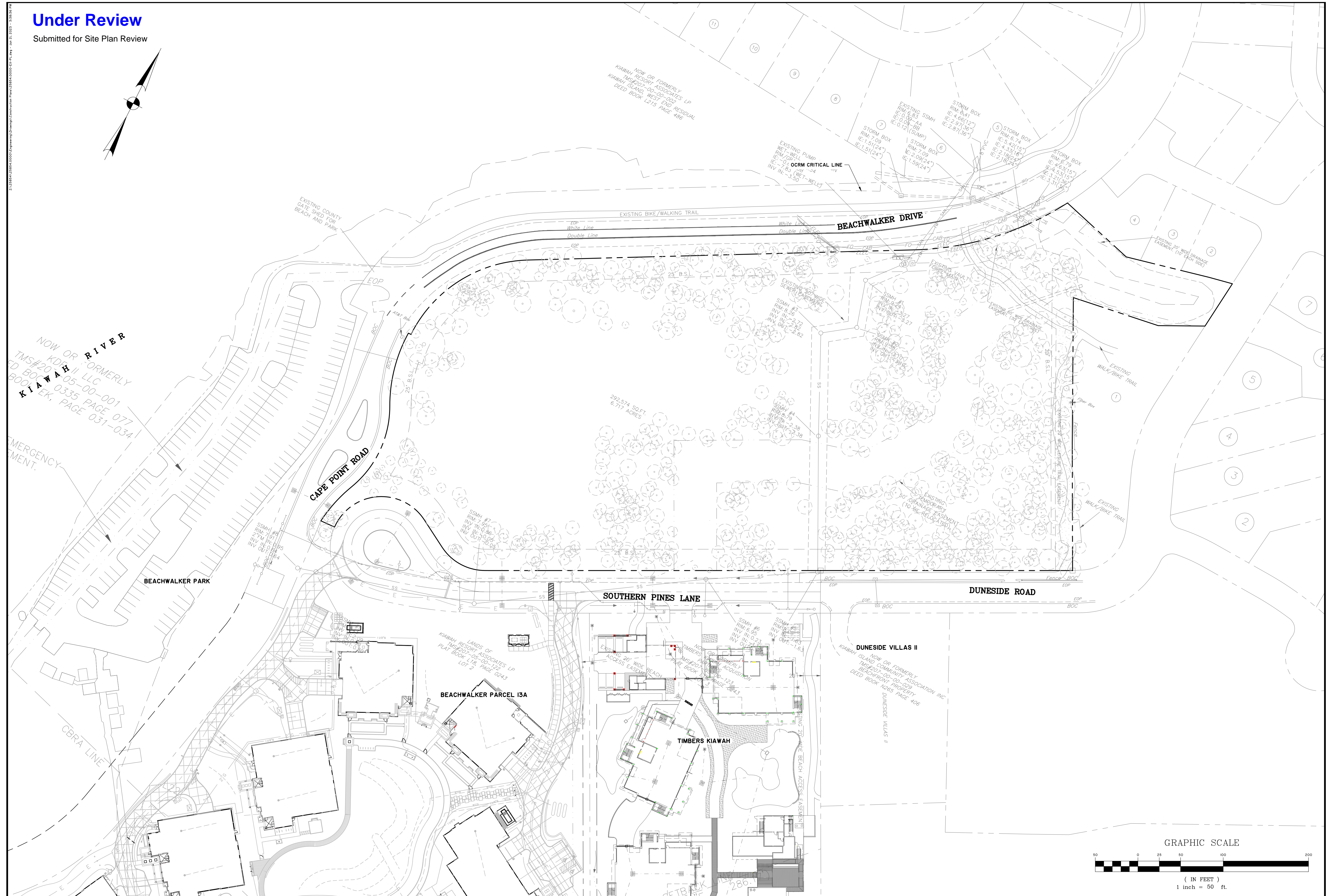
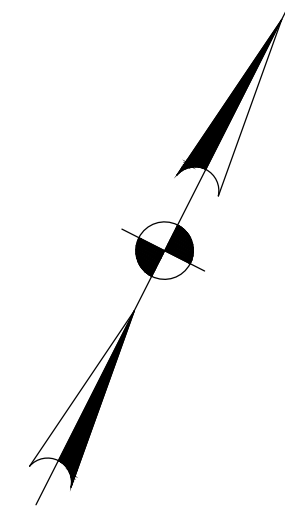


GO.2



# Under Review

Submitted for Site Plan Review



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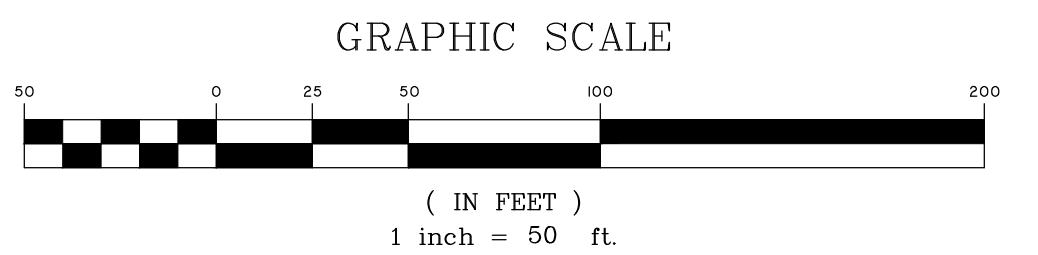
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**KRA, LP**  
KIawah ISLAND, SOUTH CAROLINA  
OCEAN PINES  
EXISTING CONDITIONS

JOB NO:	J-25854.0000
DATE:	11/8/22
DRAWN:	LMD
DESIGNED:	LMD
REVIEWED:	DJJ
APPROVED:	DJJ
SCALE:	1" = 50'

# GO.3





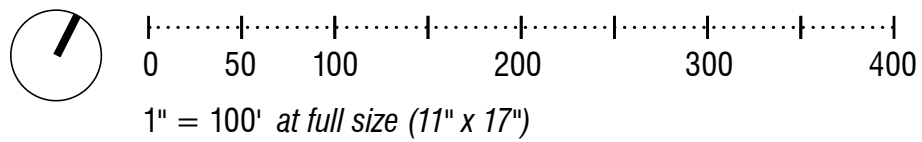
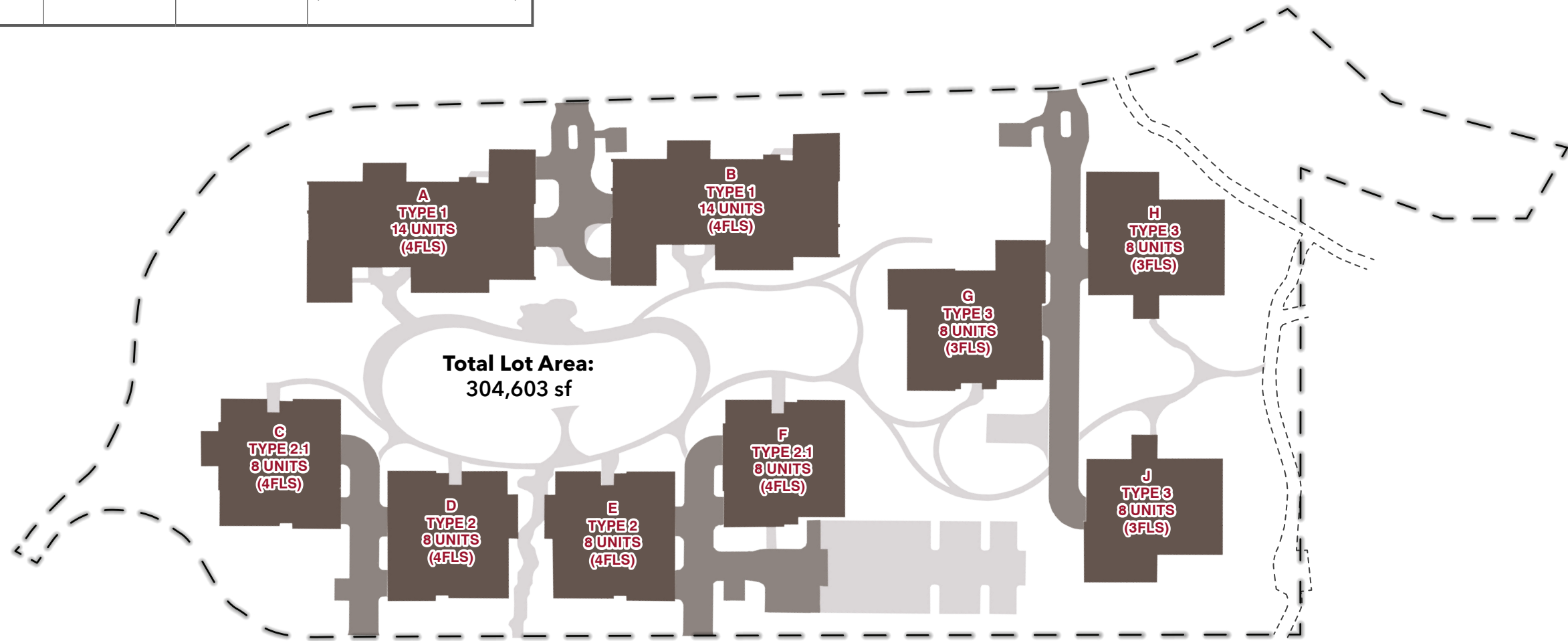




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COVERAGE AREA TOTALS			
Total Lot Area: 304,603 SF	Coverage in Square Feet	Coverage as % of Lot Area	Pervious Coverage in Square Feet
Building Footprints & Occupied Overhangs	+/- 77,106 SF	25.31%	0 SF
Drive Alleys, Dumpster Holding Pads & Exterior Parking	+/- 20,226 SF	6.64%	+/- 1,965 SF
<b>Total Primary Coverage (Not to exceed 33% of Lot Area)</b>	<b>+/- 97,332 SF</b>	<b>31.95%</b>	<b>+/- 1,965 SF (2.06% of Primary Cov.)</b>
Secondary Elements	+/- 22,404 SF	7.38%	+/- 19,087 SF (85.19% of Secondary Cov.)
<b>Total Primary and Secondary Lot Coverage (Not to exceed 39.67% of Lot Area)</b>	<b>+/- 119,736 SF</b>	<b>39.31%</b>	<b>+/- 21,052 SF (17.58% of Combined Cov.)</b>



\*KICA leisure trail shown for reference only

## Site Coverage













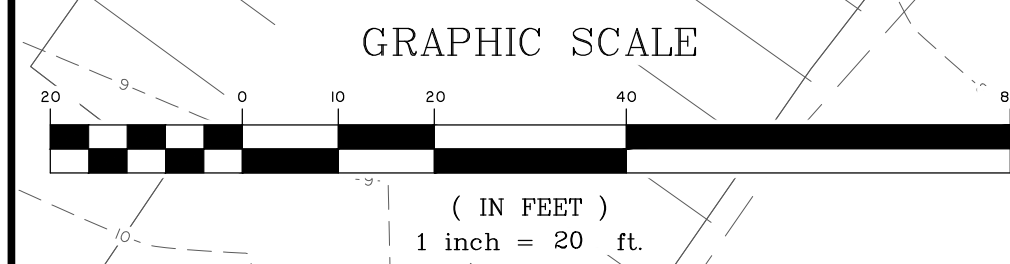
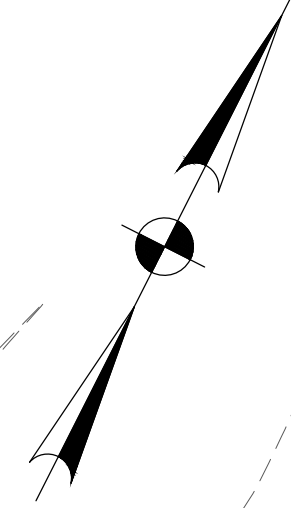






**Under Review**

Submitted for Site Plan Review



**\*NOTE: MAXIMUM CLEARING LIMITS ARE SHOWN AND MUST BE AUTHORIZED BY FIELD INSPECTION AND APPROVAL BY THE ARB.**



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**KRA, LP**  
 KIAWAH ISLAND, SOUTH CAROLINA  
 OCEAN PINES  
 SWPPP - CONSTRUCTION PHASE

JOB NO: J-25854.0000  
 DATE: 11/8/22  
 DRAWN: LMD  
 DESIGNER: LMD  
 REVIEWED: DJJ  
 APPROVED: DJJ  
 SCALE: 1" = 20'

**EC2.1**



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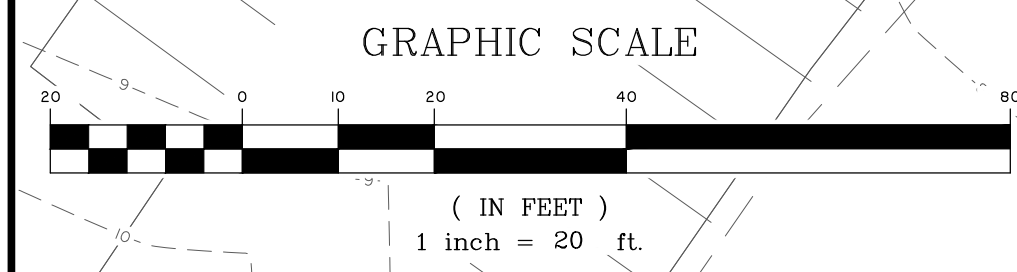
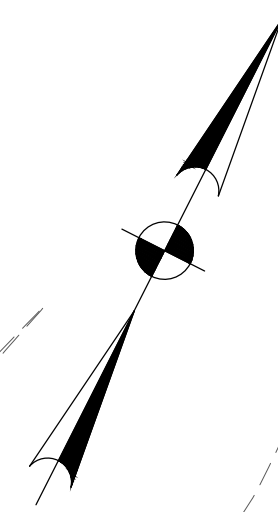
JOB NO: J-25854.0000  
 DATE: 11/8/22  
 DRAWN: LMD  
 DESIGNED: LMD  
 REVIEWED: DJJ  
 APPROVED: DJJ  
 SCALE: 1" = 20'

**EC2.2**



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**KRA, LP**  
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 OCEAN PINES  
 SWPPP - STABILIZATION PHASE

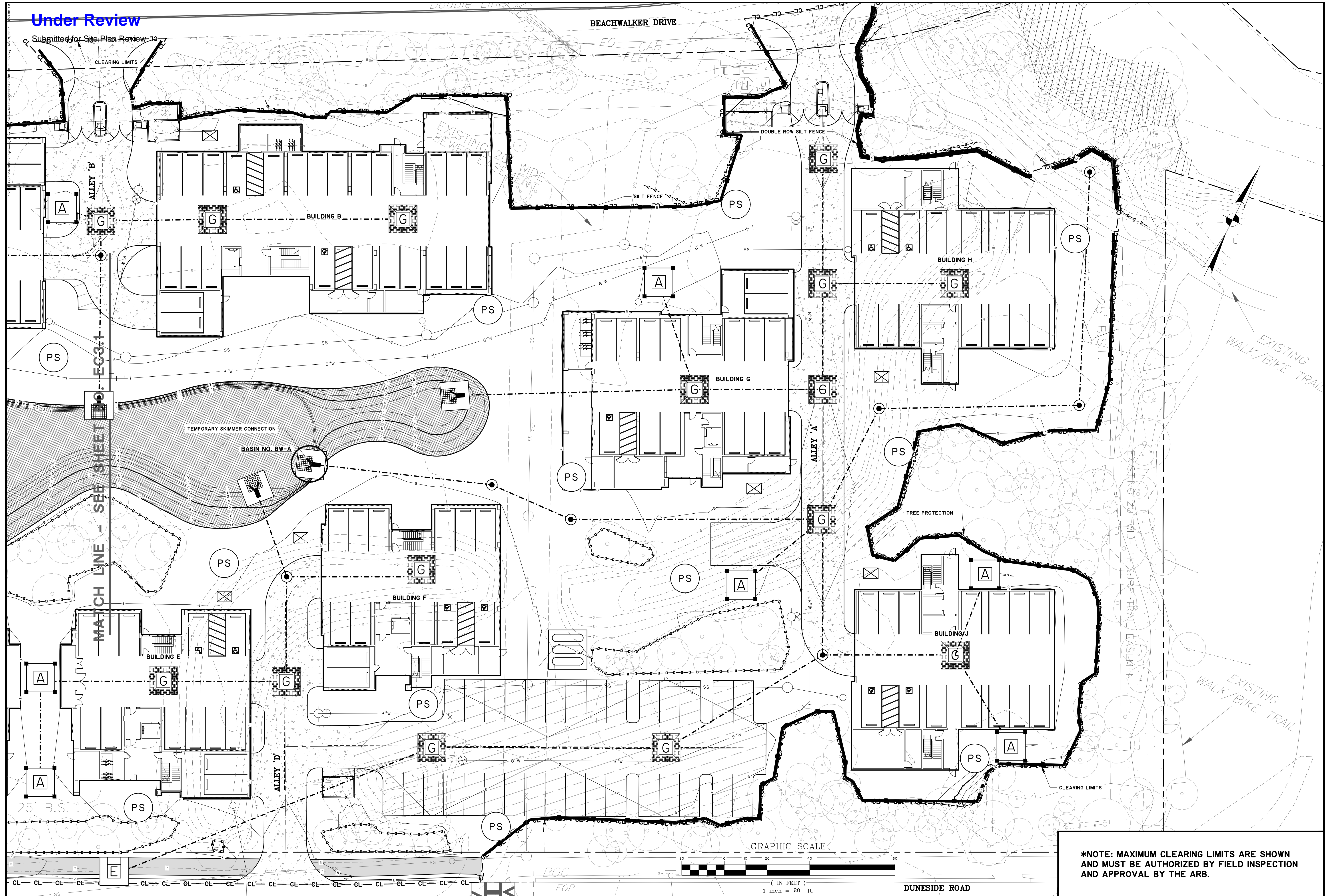
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 DATE: 11/8/22  
 DRAWN: LMD  
 DESIGNED: LMD  
 REVIEWED: DJJ  
 APPROVED: DJJ  
 SCALE: 1" = 20'

**EC3.1**



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 OCEAN PINES  
 SWPPP - STABILIZATION PHASE

JOB NO: J-25854.0000  
 DATE: 11/8/22  
 DRAWN: LMD  
 DESIGNED: LMD  
 REVIEWED: DJJ  
 APPROVED: DJJ  
 SCALE: 1" = 20'

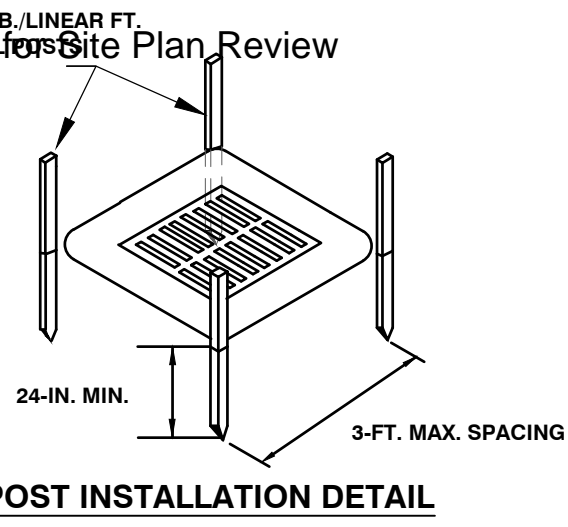
**EC3.2**

**\*NOTE: MAXIMUM CLEARING LIMITS ARE SHOWN AND MUST BE AUTHORIZED BY FIELD INSPECTION AND APPROVAL BY THE ARB.**

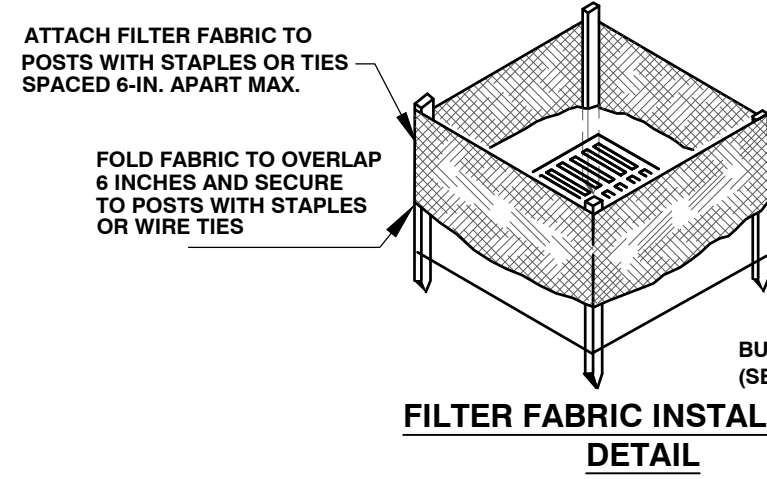


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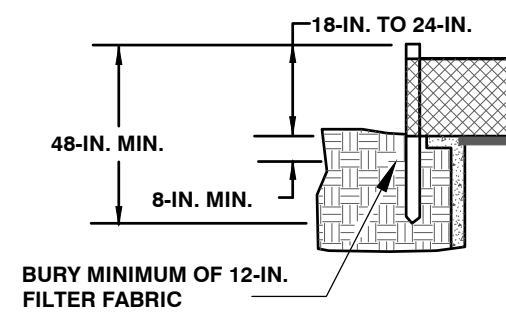
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POST INSTALLATION DETAIL



FILTER FABRIC INSTALLATION DETAIL



FILTER FABRIC BURIAL DETAIL

**MATERIALS:**

USE FILTER FABRIC THAT CONFORMS TO SCODOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (LATEST EDITION).

USE STEEL POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS:  
BE COMPOSED OF HIGH STRENGTH STEEL WITH MINIMUM YIELD STRENGTH OF 50,000 PSI.  
HAVE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.38-INCHES AND NOMINAL "T" LENGTH OF 1.48-INCHES.  
WEIGH 1.25 POUNDS PER FOOT (± 8%).  
BE PAINTED WITH A WATER BASED BAKED ENAMEL PAINT.

**INSTALLATION:**

EXCAVATE A TRENCH 6-INCHES WIDE AND 6-INCHES DEEP AROUND THE OUTSIDE PERIMETER OF THE INLET UNLESS THE FABRIC IS PNEUMATICALLY INSTALLED.  
EXTEND THE FILTER FABRIC A MINIMUM OF 12-INCHES INTO THE TRENCH. BACKFILL THE TRENCH WITH SOIL OR CRUSHED STONE AND COMPACT OVER THE FILTER FABRIC UNLESS THE FABRIC IS PNEUMATICALLY INSTALLED.

USE STEEL POSTS WITH A MINIMUM POST LENGTH OF 60-INCHES CONSISTING OF STANDARD "T" SECTIONS WITH A WEIGHT OF 1.25 POUNDS PER FOOT (± 8%).  
INSTALL THE FILTER FABRIC TO A MINIMUM HEIGHT OF 24-INCHES ABOVE GRADE. SPACE THE STEEL POSTS AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3-FEET APART AND DRIVE THEM INTO THE GROUND A MINIMUM OF 24-INCHES. CUT THE FILTER FABRIC FROM A CONTINUOUS ROLL TO THE LENGTH OF THE PROTECTED AREA TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, WRAP FILTER FABRIC TOGETHER ONLY AT A SUPPORT POST WITH BOTH ENDS SECURELY FASTENED TO THE POST, WITH A MINIMUM 6-INCH OVERLAP.

ATTACH FABRIC TO STEEL POSTS WITH HEAVY-DUTY PLASTIC TIES.

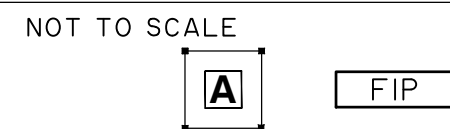
ATTACH AT LEAST FOUR (4) EVENLY SPACED TIES IN A MANNER TO PREVENT SAGGING OR TEARING OF THE FABRIC. IN ALL CASES, AFFIX TIES IN NO LESS THAN FOUR (4) PLACES.

**INSPECTION AND MAINTENANCE:**

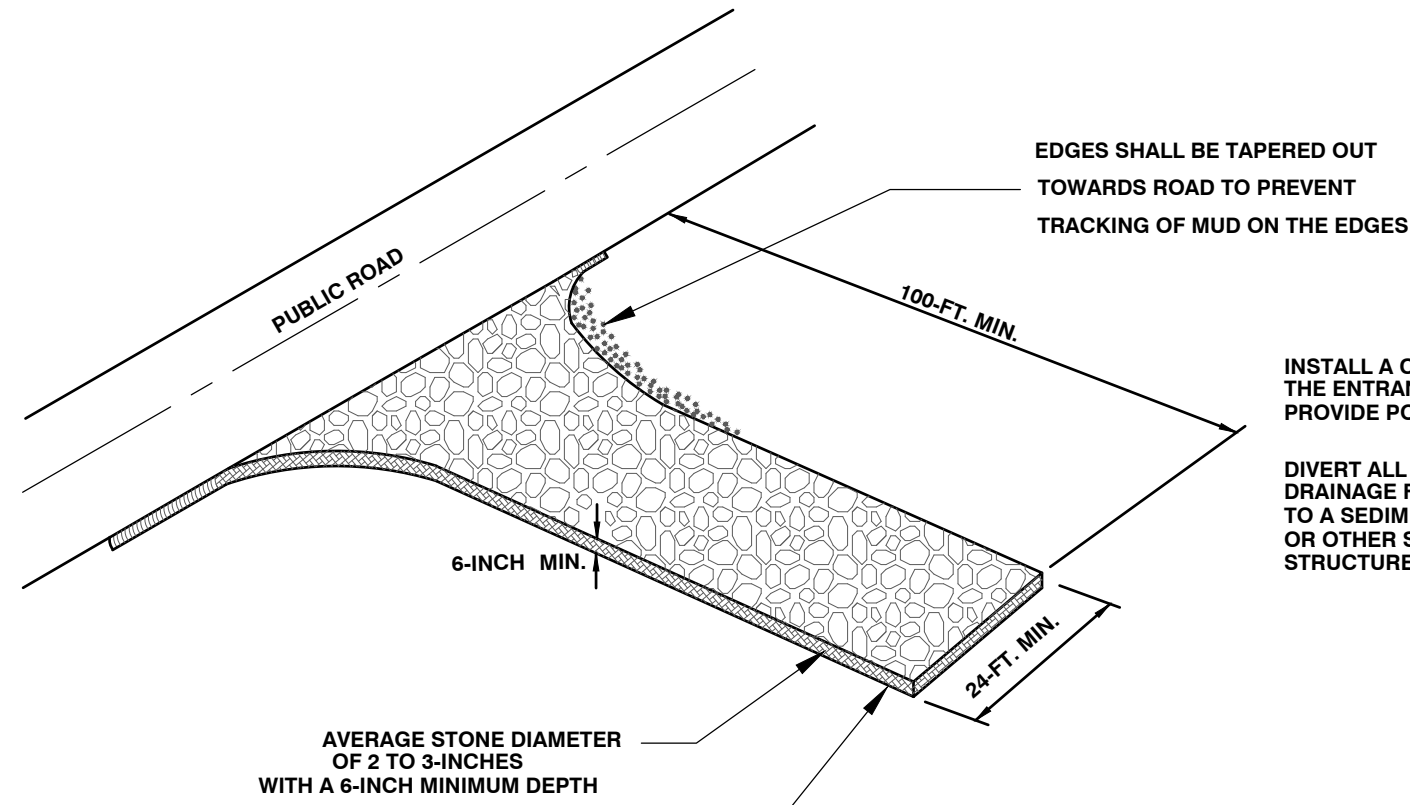
SEDIMENT SHOULD BE REMOVED WHEN IT REACHES APPROXIMATELY 1/3 THE HEIGHT OF THE FENCE. TAKE CARE NOT TO DAMAGE OR UNDERCUT FABRIC WHEN REMOVING SEDIMENT. IF A SUMP IS USED, SEDIMENT SHOULD BE REMOVED WHEN IT FILLS APPROXIMATELY 1/3 THE DEPTH OF THE HOLE. MAINTAIN THE POOL AREA, ALWAYS PROVIDING ADEQUATE SEDIMENT STORAGE VOLUME FOR THE NEXT STORM.

STORM DRAIN INLET PROTECTION STRUCTURES SHOULD BE REMOVED ONLY AFTER THE DISTURBED AREAS ARE PERMANENTLY STABILIZED. REMOVE ALL CONSTRUCTION MATERIAL AND SEDIMENT, AND DISPOSE OF THEM PROPERLY. GRADE THE DISTURBED AREA TO THE ELEVATION OF THE DROP INLET STRUCTURE CREST. USE APPROPRIATE PERMANENT STABILIZATION METHODS TO STABILIZE BARE AREAS AROUND THE INLET.

## FILTER FABRIC INLET PROTECTION (TYPE A)



NOT TO SCALE



**NOTES:**

**WHEN AND WHERE TO USE IT:**

STABILIZED CONSTRUCTION ENTRANCES SHOULD BE USED AT ALL POINTS WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVING DIRECTLY ONTO A PUBLIC ROAD.

**IMPORTANT CONSIDERATIONS:**

IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFFSITE. WASHDOWN FACILITIES SHALL BE REQUIRED AS DIRECTED BY SCDHEC AS NEEDED. WASHDOWN AREAS IN GENERAL MUST BE ESTABLISHED WITH CRUSHED GRAVEL AND DRAIN INTO A SEDIMENT TRAP OR SEDIMENT BASIN.

CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY VEHICLES.

**INSTALLATION:**

REMOVE ALL VEGETATION AND ANY OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA.

DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM STONES TO A SEDIMENT TRAP OR BASIN.

INSTALL A NON-WOVEN GEOTEXTILE FABRIC PRIOR TO PLACING ANY STONE.

INSTALL A CULVERT PIPE ACROSS THE ENTRANCE WHEN NEEDED TO PROVIDE POSITIVE DRAINAGE.

THE ENTRANCE SHALL CONSIST OF 1-INCH TO 3-INCH D50 STONE PLACED AT A MINIMUM DEPTH OF 6-INCHES.

MINIMUM DIMENSIONS OF THE ENTRANCE SHALL BE 24-FEET WIDE BY 100-FEET LONG, AND MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE SITE CONSTRAINTS.

THE EDGES OF THE ENTRANCE SHALL BE TAPERED OUT TOWARDS THE ROAD TO PREVENT TRACKING OF MUD AT THE EDGE OF THE ENTRANCE.

**INSPECTION AND MAINTENANCE:**

INSPECT CONSTRUCTION ENTRANCES EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCHES OR MORE OF PRECIPITATION, OR AFTER HEAVY USE. CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING PERIODS OF WET WEATHER. MAINTENANCE IS REQUIRED MORE FREQUENTLY IN WET WEATHER CONDITIONS. RESHAPE THE STONE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.

WASH OR REPLACE STONES AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES.

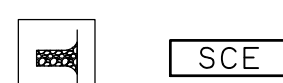
FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE.

IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN.

REPAIR ANY BROKEN PAVEMENT IMMEDIATELY.

## STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

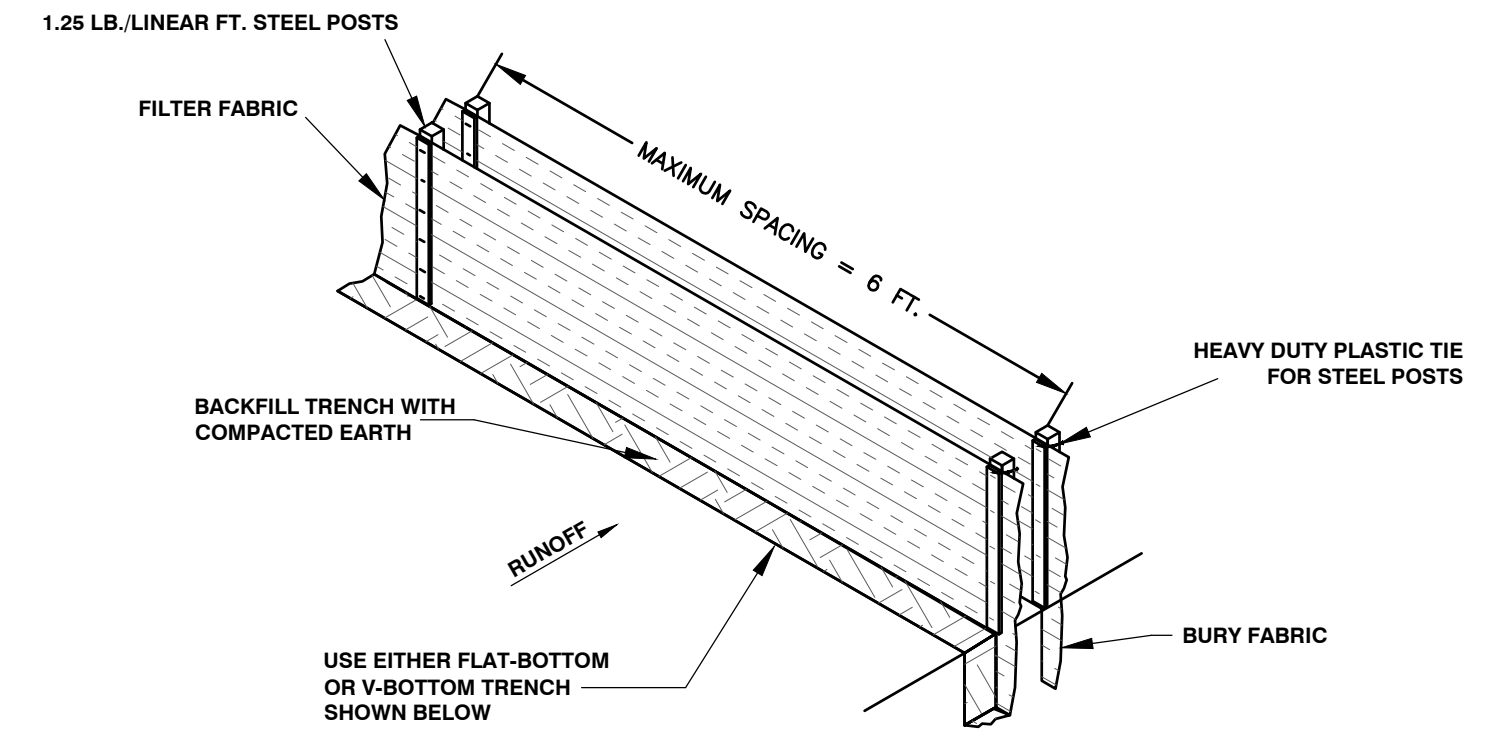


### LIST OF ACRONYMS FOR SEDIMENT AND EROSION CONTROL

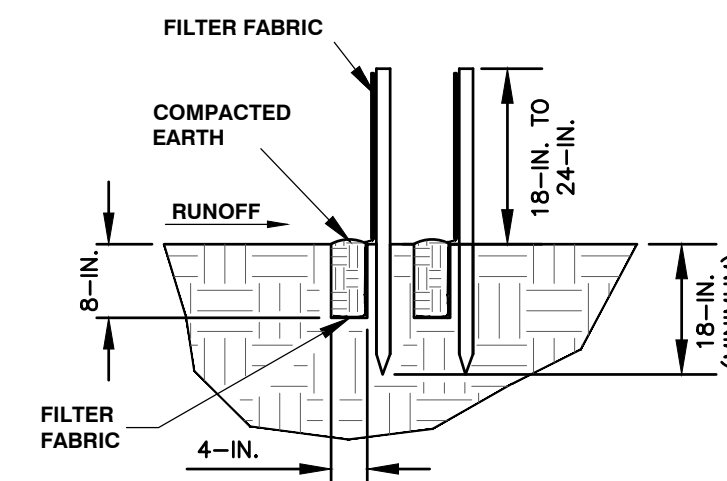
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
AMD	ACRYLAMIDE POLYMER
BFM	BONDED FIBER MATRIX
BMP(S)	BEST MANAGEMENT PRACTICE(S)
CFS	CUBIC FEET PER SECOND
CMP	CORRUGATED METAL PIPE
DHEC	DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
ECB	EROSION CONTROL BLANKET
EPA	UNITED STATES ENVIRONMENTAL PROTECTION AGENCY
EPSC	EROSION PREVENTION AND SEDIMENTATION CONTROL
FDA	UNITED STATES FOOD AND DRUG ADMINISTRATION
FGM	FLEXIBLE GROWTH MATRIX
HDPE	HIGH DENSITY POLYETHYLENE
MS4	MUNICIPAL SEPARATE STORM SEWER SYSTEM
MSDS	MATERIAL SAFETY DATA SHEETS
NPDES	NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
PAM	POLYACRYLAMIDE OR POLYMER
RCP	REINFORCED CONCRETE PIPE
SCS	SOIL CONSERVATION SERVICE
SWPPP	STORMWATER POLLUTION PREVENTION PROGRAM
TRM	TURF REINFORCEMENT MAT
VFS	VEGETATED FILTER STRIP

### EROSION CONTROL SYMBOL LEGEND

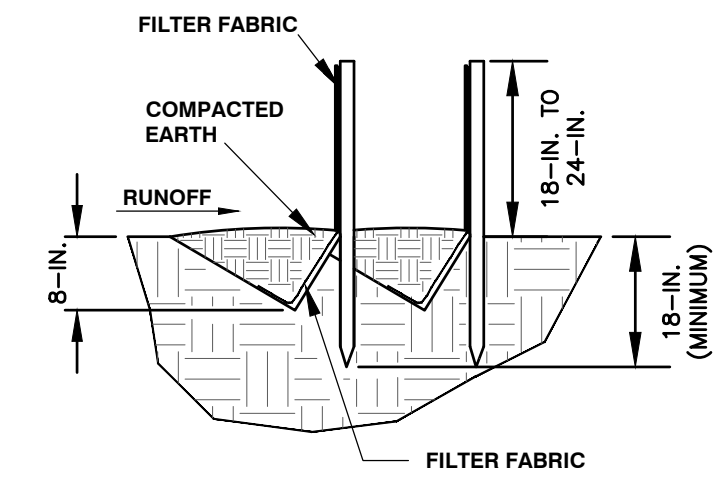
DESCRIPTION	PLAN SYMBOL	PLAN LABEL
STABILIZED CONSTRUCTION ENTRANCE		SCE
DOUBLE ROW SILT FENCE		SF
TYPE A - FABRIC INLET PROTECTION		FIP
OUTLET PROTECTION - TRM		



SILT FENCE INSTALLATION



FLAT-BOTTOM TRENCH DETAIL



V-SHAPED TRENCH DETAIL

**NOTES:**

WHEN AND WHERE TO USE IT:  
SILT FENCE IS APPLICABLE IN AREAS:

WHERE THE MAXIMUM SHEET OR OVERLAND FLOW PATH LENGTH TO THE FENCE IS 100-FEET. WHERE THE MAXIMUM SLOPE STEEPNESS (NORMAL [PERPENDICULAR] TO FENCE LINE) IS 2H:1V. THAT DO NOT RECEIVE CONCENTRATED FLOWS GREATER THAN 0.5 CFS.

DO NOT PLACE SILT FENCE ACROSS CHANNELS OR USE IT AS A VELOCITY CONTROL BMP.

**MATERIALS:**

STEEL POSTS  
USE 48-INCH LONG STEEL POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS:  
COMPOSED OF HIGH STRENGTH STEEL WITH MINIMUM YIELD STRENGTH OF 50,000 PSI.  
HAVE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.38-INCHES AND NOMINAL "T" LENGTH OF 1.48-INCHES.  
WEIGH 1.25 POUNDS PER FOOT (± 8%).  
HAVE A SOIL STABILIZATION PLATE WITH A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES ATTACHED TO THE STEEL POSTS.  
PAINTED WITH A WATER BASED BAKED ENAMEL PAINT.

USE STEEL POSTS WITH A MINIMUM LENGTH OF 4-FEET, WEIGHING 1.25 POUNDS PER LINEAR FOOT (± 8%) WITH PROJECTIONS TO AID IN FASTENING THE FABRIC. EXCEPT WHEN HEAVY CLAY SOILS ARE PRESENT ON SITE, STEEL POSTS WILL HAVE A METAL SOIL STABILIZATION PLATE WELDED NEAR THE BOTTOM SUCH THAT WHEN THE POST IS DRIVEN TO THE PROPER DEPTH, THE PLATE WILL BE BELOW THE GROUND LEVEL FOR ADDED STABILITY.

THE SOIL PLATES SHOULD HAVE THE FOLLOWING CHARACTERISTICS:  
BE COMPOSED OF MINIMUM 15 GAUGE STEEL.  
HAVE A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES.

**GEOTEXTILE FILTER FABRIC:**

FILTER FABRIC IS:  
COMPOSED OF FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS COMPOSED OF AT LEAST 85% BY WEIGHT OF POLYOLEFINS, POLYESTERS, OR POLYAMIDES.  
FORMED INTO A NETWORK SUCH THAT THE FILAMENTS OR YARNS RETAIN DIMENSIONAL STABILITY RELATIVE TO EACH OTHER.  
FREE OF ANY TREATMENT OR COATING WHICH MIGHT ADVERSELY ALTER ITS PHYSICAL PROPERTIES AFTER INSTALLATION.  
FREE OF DEFECTS OR FLAWS THAT SIGNIFICANTLY AFFECT ITS PHYSICAL AND/OR FILTERING PROPERTIES.  
CUT TO A MINIMUM WIDTH OF 36 INCHES.

USE ONLY FABRIC APPEARING ON SCODOT APPROVAL SHEET #34 MEETING THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE SCODOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.

**INSTALLATION:**

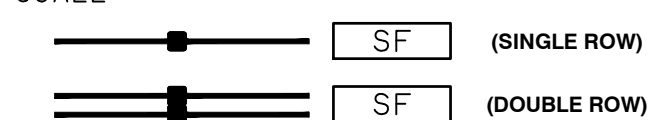
EXCAVATE A TRENCH APPROXIMATELY 6-INCHES WIDE AND 6-INCHES DEEP WHEN PLACING FABRIC BY HAND. PLACE 12-INCHES OF GEOTEXTILE FABRIC INTO THE 6-INCH DEEP TRENCH, EXTENDING THE REMAINING 6-INCHES TOWARDS THE UPSLOPE SIDE OF THE TRENCH. BACKFILL THE TRENCH WITH SOIL OR GRAVEL AND COMPACT. BURY 12-INCHES OF FABRIC INTO THE GROUND WHEN PNEUMATICALLY INSTALLING SILT FENCE WITH A SLICING METHOD. PURCHASE FABRIC IN CONTINUOUS ROLLS AND CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, WRAPPED THE FABRIC TOGETHER AT A SUPPORT POST WITH BOTH ENDS FASTENED TO THE POST, WITH A 6-INCH MINIMUM OVERLAP. INSTALL POSTS TO A MINIMUM DEPTH OF 24-INCHES. INSTALL POSTS A MINIMUM OF 1- TO 2- INCHES ABOVE THE FABRIC, WITH NO MORE THAN 3- FEET OF THE POST ABOVE THE GROUND. SPACE POSTS TO MAXIMUM 6- FEET CENTERS. ATTACH FABRIC TO WOOD POSTS USING STAPLES MADE OF HEAVY-DUTY WIRE AT LEAST 1-1/2-INCH LONG. SPACED A MAXIMUM OF 6-INCHES APART. STAPLE A 2-INCH WIDE LATHE OVER THE FILTER FABRIC TO SECURELY FASTEN IT TO THE UPSLOPE SIDE OF WOODEN POSTS. ATTACH FABRIC TO THE STEEL POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE EVENLY SPACED AND PLACED IN A MANNER TO PREVENT SAGGING OR TEARING OF THE FABRIC. IN CALL CASES, TIES SHOULD BE AFFIXED IN NO LESS THAN 4 PLACES. INSTALL THE FABRIC A MINIMUM OF 24-INCHES ABOVE THE GROUND. WHEN NECESSARY, THE HEIGHT OF THE FENCE ABOVE GROUND MAY BE GREATER THAN 24-INCHES. IN TIDAL AREAS, EXTRA SILT FENCE HEIGHT MAY BE REQUIRED. THE POST HEIGHT WILL BE TWICE THE EXPOSED POST HEIGHT. POST SPACING WILL REMAIN THE SAME AND EXTRA HEAVY FABRIC WILL BE 4-, 5-, OR 6- FEET TALL. LOCATE SILT FENCE CHECKS EVERY 100 FEET MAXIMUM AND AT LOW POINTS. INSTALL THE FENCE PERPENDICULAR TO THE DIRECTION OF FLOW AND PLACE THE FENCE THE PROPER DISTANCE FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.

**INSPECTION AND MAINTENANCE:**

INSPECT EVERY SEVEN CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCHES OR MORE OF PRECIPITATION. CHECK FOR SEDIMENT BUILDUP AND FENCE INTEGRITY. CHECK WHERE RUNOFF HAS ERODED A CHANNEL BENEATH THE FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED BY FENCE OVERTOPPING. IF THE FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE SECTION OF FENCE IMMEDIATELY. REMOVE SEDIMENT ACCUMULATED ALONG THE FENCE WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE, ESPECIALLY IF HEAVY RAINS ARE EXPECTED. REMOVE TRAPPED SEDIMENT FROM THE SITE OR STABILIZE IT ON SITE. REMOVE SILT FENCE WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BEST MANAGEMENT PRACTICES (BMPs) ARE NO LONGER NEEDED. PERMANENTLY STABILIZE DISTURBED AREAS RESULTING FROM FENCE REMOVAL.

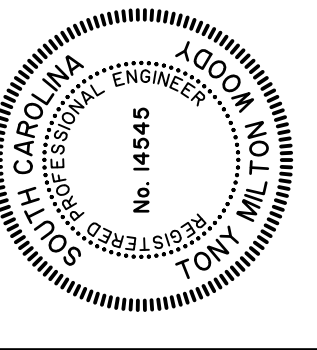
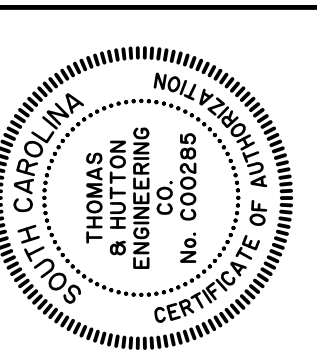
## SILT FENCE

NOT TO SCALE



(SINGLE ROW)

(DOUBLE ROW)



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**KRA, LP**  
KIAWAH ISLAND, SOUTH CAROLINA  
OCEAN PINES  
SWPPP - DETAILS

JOB NO:	J-25854.0000
DATE:	11/8/22
DRAWN:	LMD
DESIGNED:	LMD
REVIEWED:	DJJ
APPROVED:	DJJ
SCALE:	NOT TO SCALE

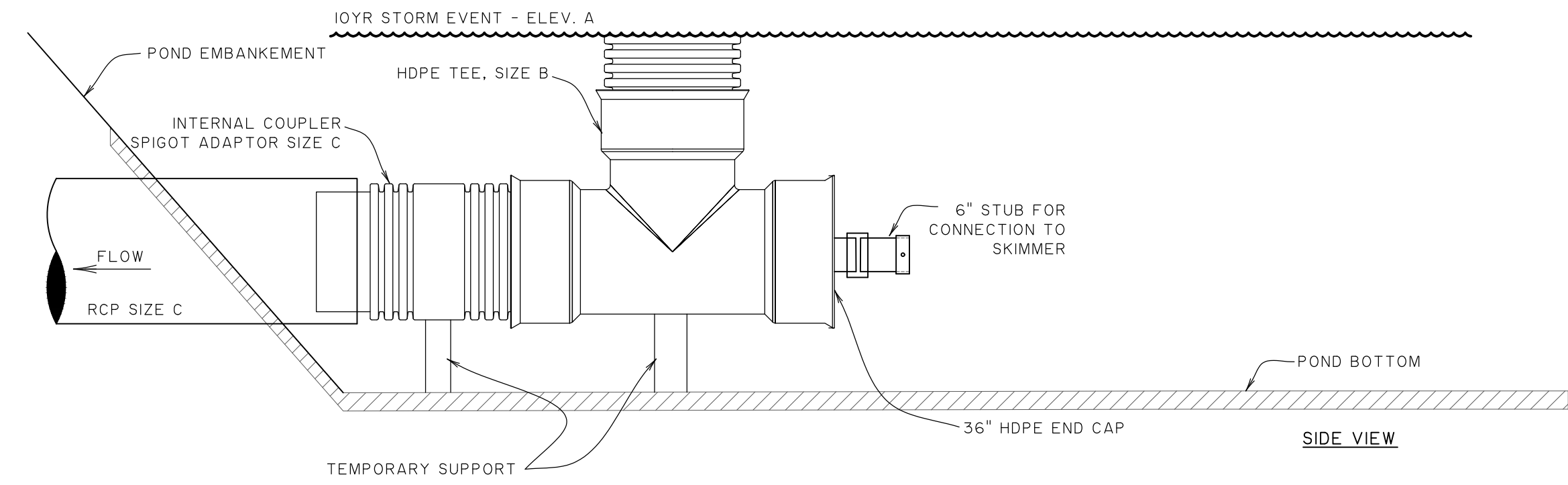
# EC4.1



# Under Review

Submitted for Site Plan Review

21/08/2024 12:54:00 PM Engineering\Drawings\Construction Plans\25854.0000-EC-04.dwg - Job 17\_2585 - 11/8/22



POND NUMBER	POND OUTLET PIPE INVERT	A	B	C	SKIMMER SIZE	DEWATERING TIME
BW-A	1.0'	5.68	36" X 36"	36"	6"	3 DAYS

## SKIMMER TEMPORARY CONNECTION DETAIL

NOT TO SCALE

NOTE: FLOAT SKIMMER AND HOPE TEE CONNECTION TO BE REMOVED AFTER FINAL STABILIZATION

### SKIMMER MAINTENANCE

**WARNING!** THE SKIMMER IS MADE TO WITHSTAND NORMAL HANDLING AND THE FILLING AND DRAINING OF THE SEDIMENT BASIN BUT IT CANNOT WITHSTAND BEING YANKED AROUND A BACKHOE. USE THE ROPE TO CAREFULLY, MANUALLY POSITION THE SKIMMER OR MOVE IT OUT OF THE WAY OF HEAVY EQUIPMENT FOR EXCAVATION.

### SEDIMENT REMOVAL

EROSION CONTROL (TEMPORARY AND PERMANENT STABILIZATION) AND CONTROLLING RUNOFF WITHIN THE CATCHMENT IS ESSENTIAL TO PREVENT SEDIMENT GENERATION, PREVENT POLLUTION, AND REDUCE BASIN MAINTENANCE. WHEN THE SEDIMENT STORAGE IN THE BASINS FILLS MAINTENANCE IS REQUIRED TO RESTORE THE TREATMENT VOLUME IN ORDER TO MAINTAIN BASIN EFFICIENCY.

SEDIMENT REMOVAL IS NEEDED BEFORE SEDIMENT ACCUMULATES UP TO THE CREST OF THE WEIR IN THE FIRST BAFFLE.

EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN TO RESTORE THE ORIGINAL SEDIMENT STORAGE VOLUME.

WHEN SEDIMENT ACCUMULATES AROUND THE SKIMMER TO THE POINT IT CANNOT SETTLE LOW ENOUGH TO DRAIN THE ENTIRE BASIN SEDIMENT REMOVAL IS REQUIRED.

PULL THE SKIMMER TO ONE SIDE SO THE SEDIMENT UNDERNEATH IT CAN BE EXCAVATED.

EXCAVATE THE ENTIRE CELL FORMED BY THE BAFFLE, NOT JUST AROUND THE SKIMMER.

### BAFFLES

MAKE REPAIRS IF DAMAGED, THE POSTS ARE LAID OVER, WATER IS FLOWING UNDERNEATH, OR THE FABRIC HAS FALLEN. IF WATER OR SEDIMENT IS ESCAPING AROUND THE ENDS TIE THE ENDS INTO THE SIDE OF THE BASIN.

### SKIMMER

**TRASH:** IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY A FEW JERKS ON THE ROPE TO MAKE THE SKIMMER BOB UP AND DOWN WILL DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK PULL THE SKIMMER OVER TO THE SIDE (IT'S EASIEST TO DO WHEN THE BASIN IS PARTIALLY FULL) AND REMOVE THE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBRIS.

**SEDIMENT UNDER THE SKIMMER:** IF SEDIMENT ACCUMULATES TO THE POINT THE SKIMMER CANNOT SETTLE LOW ENOUGH TO DRAIN THE ENTIRE BASIN PULL THE SKIMMER OVER TO ONE SIDE AND EXCAVATE THE SEDIMENT WITH A BACKHOE.

**CLOGGED BARREL OR PIPE THROUGH THE DAM:** IF THE SKIMMER IS CLOGGED DESPITE REMOVING DEBRIS AND IT APPEARS THAT EITHER THE BARREL BETWEEN THE ORIFICE AND THE FLEXIBLE JOINT OR THE PIPE THROUGH THE DAM IS CLOGGED TAKE THE FOLLOWING STEPS TO CLEAR THE BLOCKAGE (SEDIMENT WILL SOMETIMES ACCUMULATE IN THE PIPE).

PULL THE SKIMMER OVER TO THE SIDE.

REMOVE THE PIN AND OPEN THE DOOR TO ACCESS THE ORIFICE.

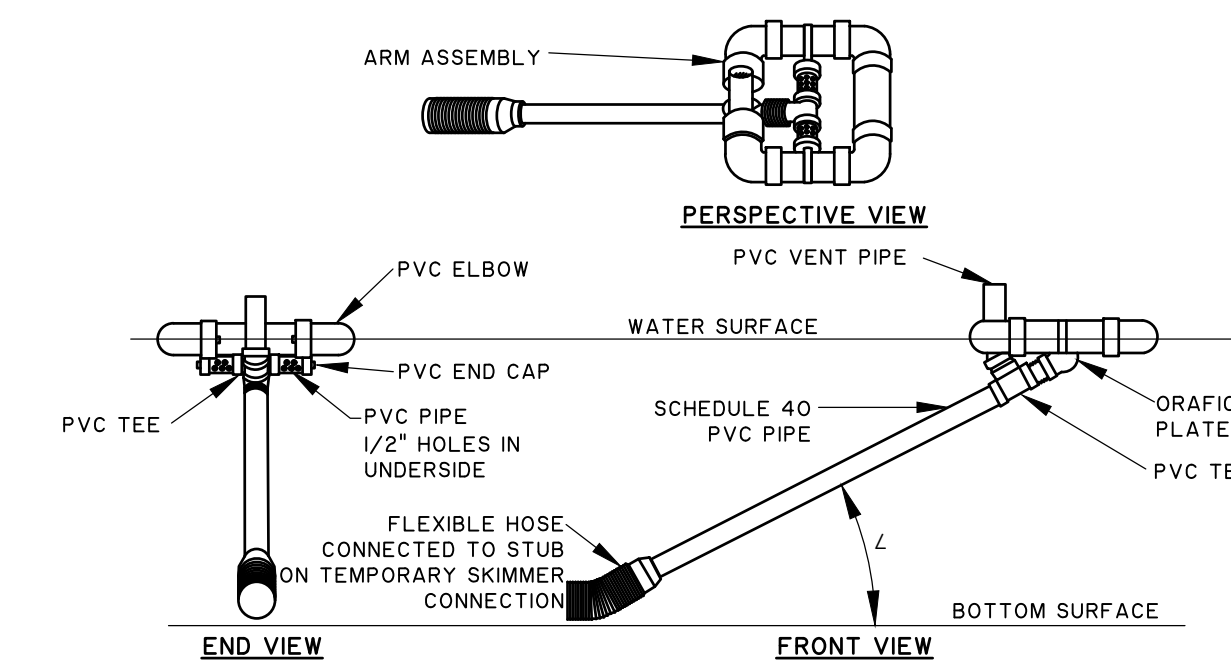
REMOVE THE ORIFICE PLUG OR CAP.

RAISE THE INLET AS HIGH AS PRACTICAL.

FILL THE BARREL WITH WATER (USE A BUCKET AND FUNNEL OR A PUMP) TO REMOVE THE CLOG USING THE WATER AND PRESSURE.

AFTER THE OBSTRUCTION IS REMOVED CONTINUE POURING WATER INTO THE BARREL TO FLUSH OUT ACCUMULATED DEBRIS AND SEDIMENT TO PREVENT FUTURE CLOGGING.

A PLUMBERS SNAKE CAN BE USED BUT FLUSHING OUT THE SEDIMENT AND DEBRIS ACCUMULATION IS RECOMMENDED FIRST.



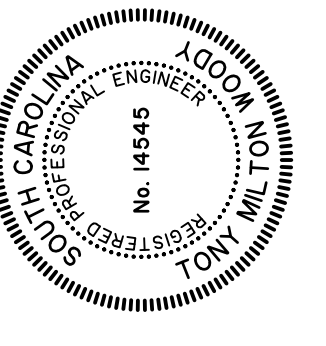
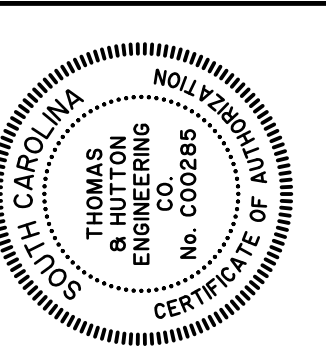
NOTES:  
1. CONTRACTOR TO REMOVE SKIMMER UPON STABILIZATION OF THE CONTRIBUTING DRAINAGE AREA.

### DESIGN CRITERIA:

POND	SKIMMER SIZE (IN)	ORIFICE SADDLE
BW-A	6	N/A

## SKIMMER DETAIL

NOT TO SCALE



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OCEAN PINES

SWPPP - DETAILS

JOB NO:	J-25854.0000
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REVIEWED:	DJJ
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SCALE:	NOT TO SCALE

**EC4.2**

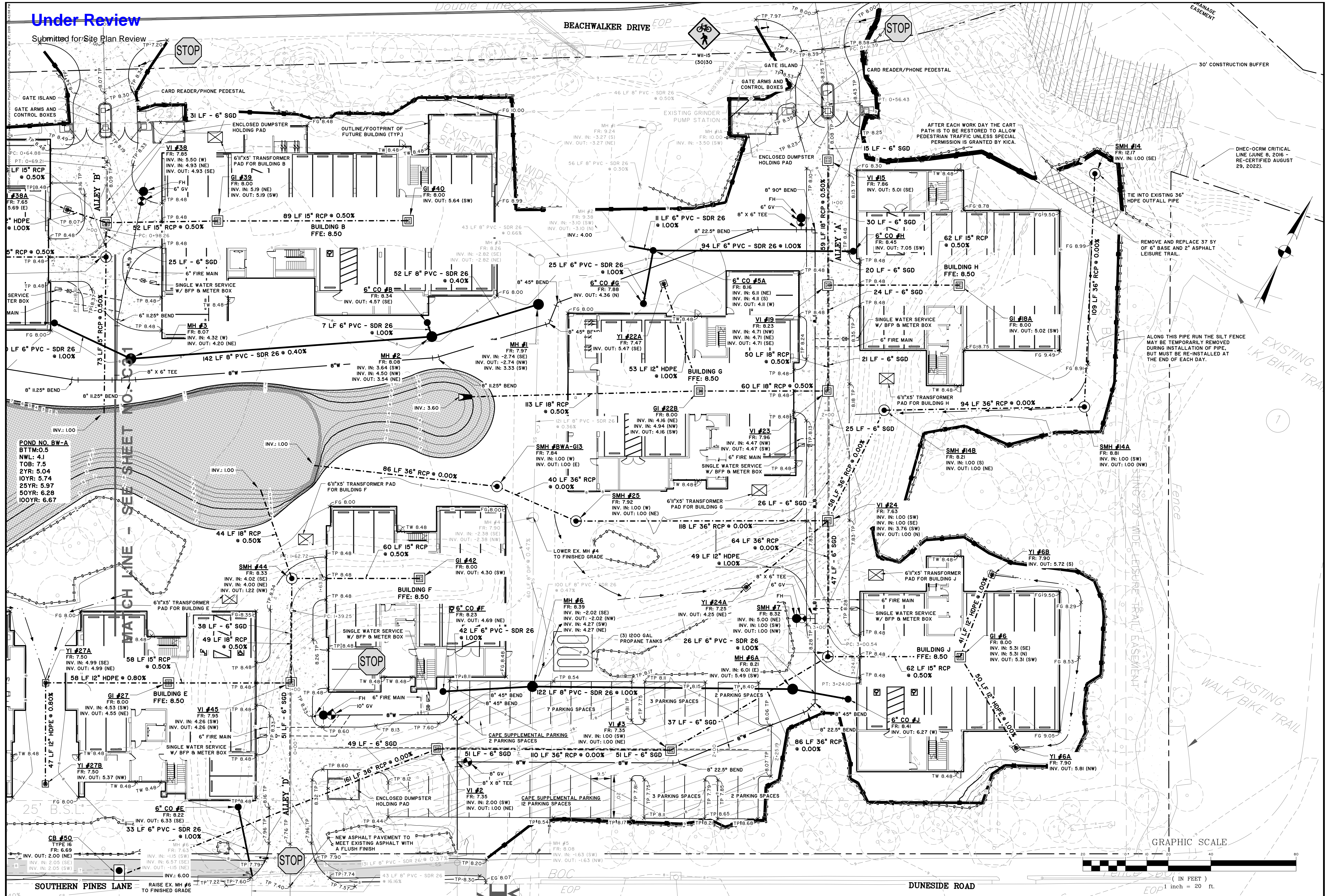






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**KRA, LP**  
 KIAWAH ISLAND, SOUTH CAROLINA  
 OCEAN PINES  
 SITE DEVELOPMENT PLAN

JOB NO: J-25854.0000  
 DATE: 11/8/22  
 DRAWN: LMD  
 DESIGNED: LMD  
 REVIEWED: DJJ  
 SCALE: 1" = 20'

C3.2

















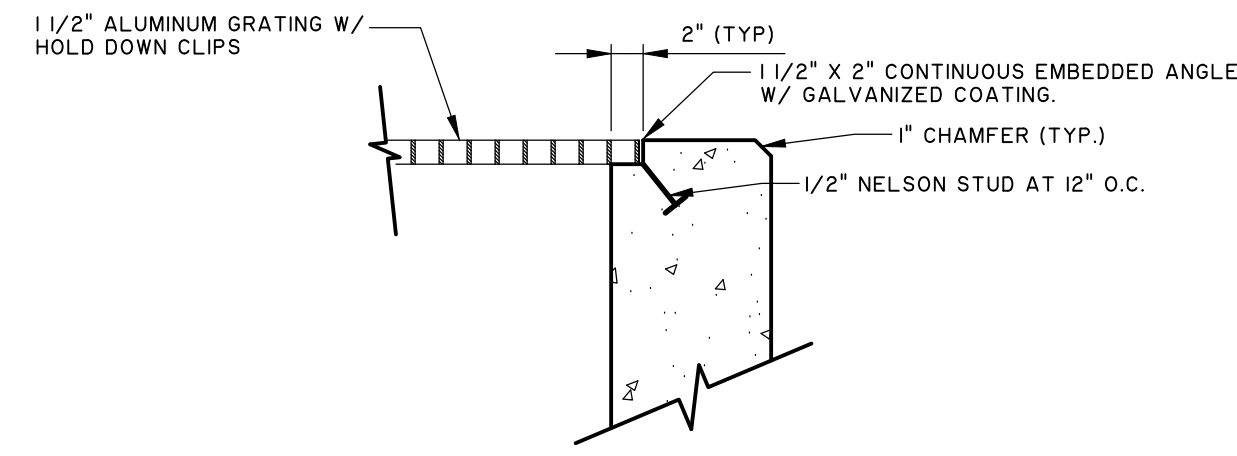












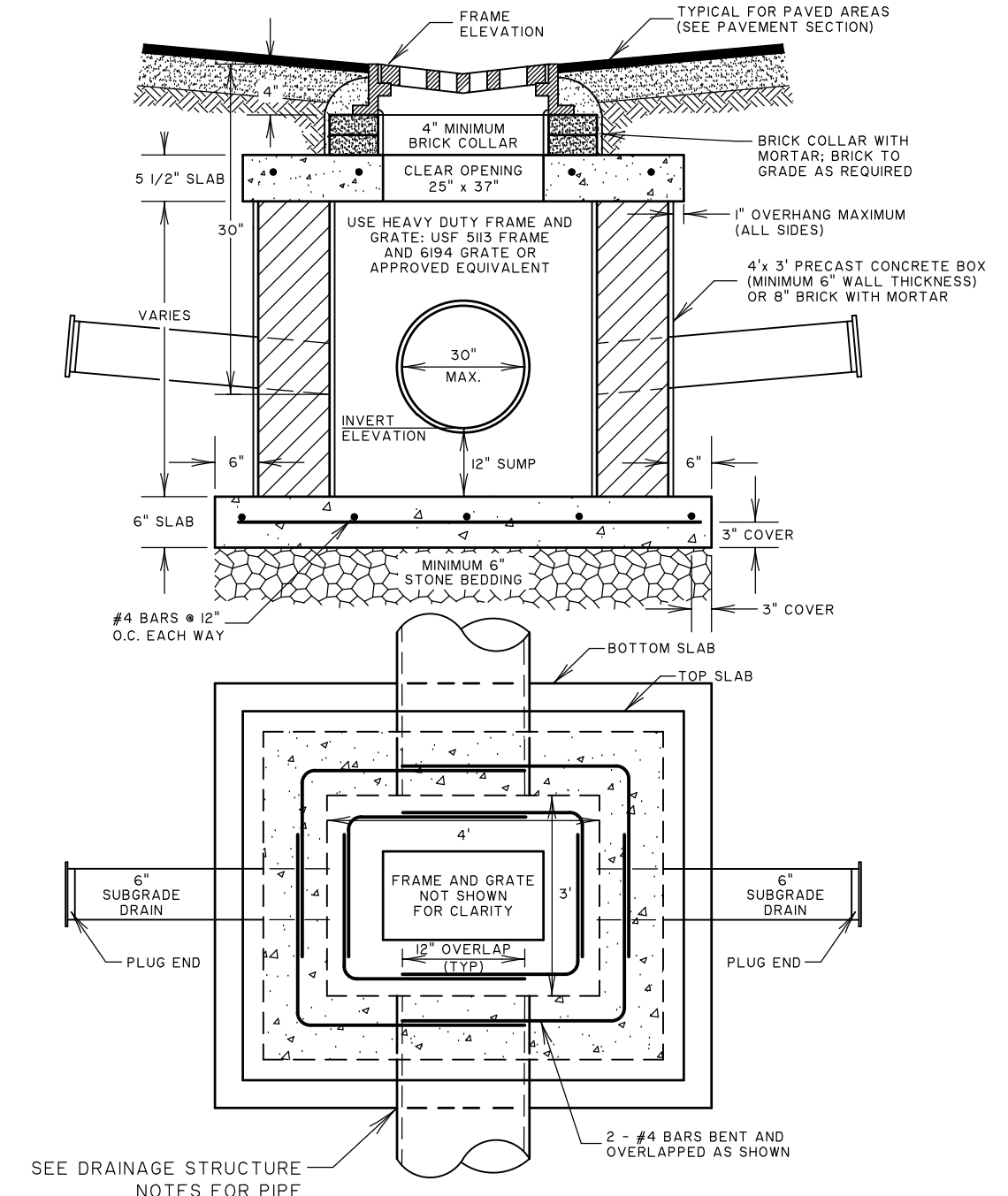
**GRATING AND EMBEDDED ANGLE DETAIL**

NOT TO SCALE

1. ALL ATTACHMENT HARDWARE TO BE A-304 STAINLESS STEEL
2. ALUMINUM GRATING TO HAVE A MAXIMUM LIVE LOAD OF 100 PSF AND A MAXIMUM DEFLECTION OF 1/4"

**GENERAL NOTES:**

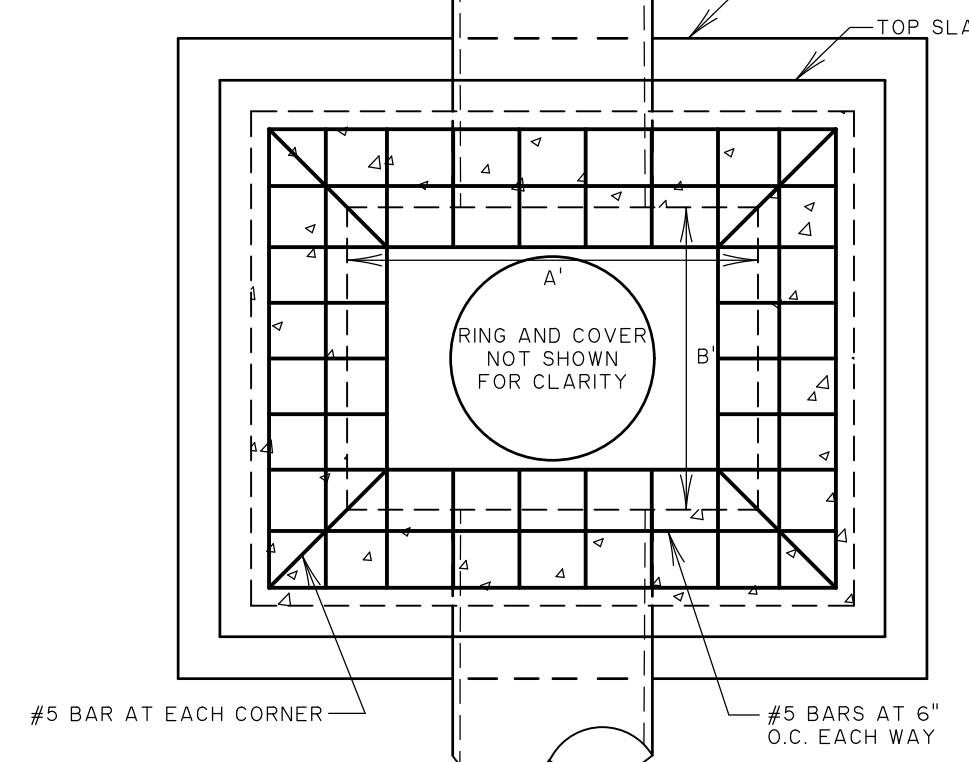
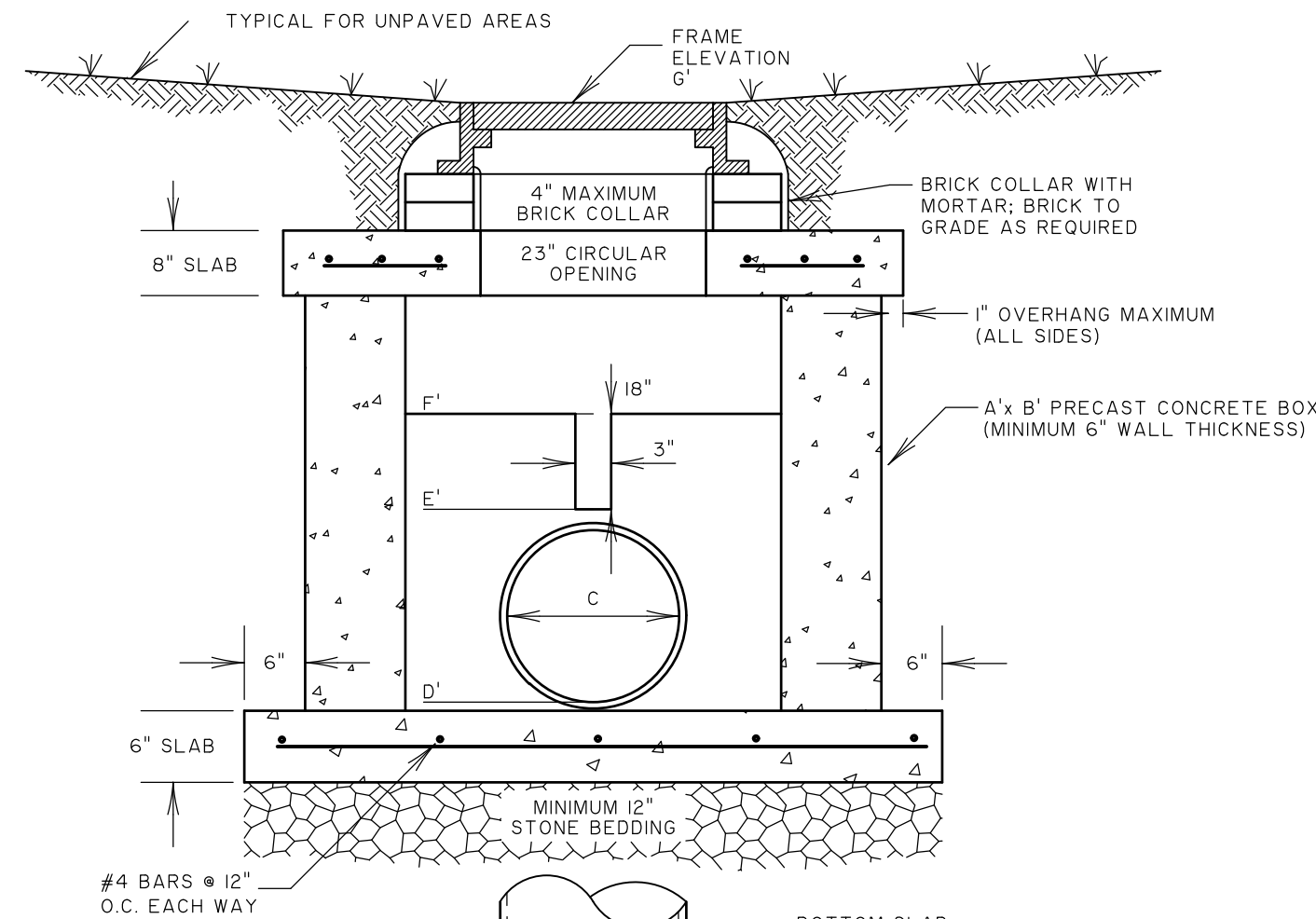
1. ALL ELEVATIONS SHOWN ARE BASED ON M.S.L. DATUM
2. ALL CAST IN PLACE CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,000 P.S.I. IN 28 DAYS UNLESS NOTED OTHERWISE.
3. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
4. ALL DETAILING, FABRICATION, AND PLACING OF REINFORCING STEEL SHALL CONFORM TO "ACI DETAILING MANUAL", ACI SP-66.
5. CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH A 45 DEGREE CHAMFER AS FOLLOWS:  
CONCRETE WALLS: 1"
6. ALL BAR SPLICES SHALL BE CLASS "B" TENSION LAP SPLICES (20" MINIMUM LENGTH)
7. SPLICE TOP BARS AND SIDE BARS AT MID-SPAN, AND BOTTOM BARS AT THE SUPPORT.
8. STAGGER SPLICES OF ADJACENT BARS WHEN BAR SPACING IS LESS THAN 4 1/2".
9. PROVIDE 3" MINIMUM OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY ON THE GROUND.
10. CONCRETE KEYS SHALL BE 2" X 4", UNLESS NOTED OTHERWISE.
11. CONSTRUCTION JOINTS WILL NOT BE ALLOWED IN WALLS EXCEPT AS LOCATED AND DETAILED ON THE DRAWINGS.
12. ALL MISCELLANEOUS METALS INCLUDING BOLTS, WASHERS, NUTS, SLEEVES, ANGLES, INSERTS, PLATES, ETC. EITHER ATTACHED TO OR EMBEDDED IN THE CONCRETE SHALL BE STAINLESS STEEL, UNLESS NOTED OTHERWISE.
13. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A36, UNLESS NOTED OTHERWISE.
14. ALL ALUMINUM GRATING EDGES SHALL BE BANDED.



**VALLEY INLET DETAIL**

NOT TO SCALE

- SEE DRAINAGE STRUCTURE NOTES FOR PIPE CONNECTION REQUIREMENTS
- NOTES:
1. ORIENT GRATE SUCH THAT 36" DIMENSION IS PARALLEL TO THE DIRECTION OF TRAFFIC FLOW.
  2. FOR GRATE INLETS NOT IN PAVEMENT, INSTALL 10 LF OF SUBGRADE DRAIN STUBBED OUT AND CAPPED AS SHOWN.
  3. USE VALLEY INLET DETAIL FOR ALL GRATE INLETS IN PAVEMENT AREA.

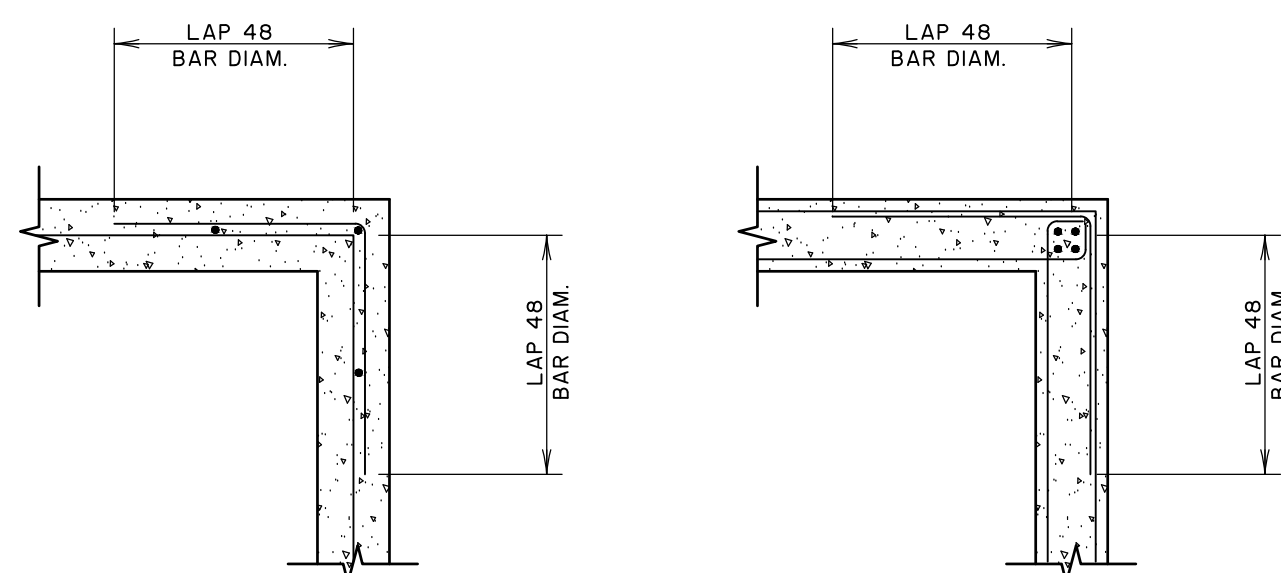


- NOTES:
1. DO NOT USE KNOCKOUT BOXES.
  2. TOP, RISER, AND BASE SHALL CONFORM TO THE LATEST REVISION OF ASTM C913.
  3. USE GRADE 60 REINFORCING STEEL.
  4. PROVIDE AT LEAST 3 INCHES OF COVER ON REINFORCING STEEL.
  5. REINFORCING IN VERTICAL WALLS (RISERS) SHALL BE #4 BARS AT 12" O.C. EACH WAY.
  6. CHAMFER ALL EXPOSED CONCRETE EDGES 3/4"
  7. ALL MANHOLE COVERS SHALL CONTAIN LABEL STATING "NO DUMPING - DRAINS TO WATERWAYS"

	A	B	C	D	E	F	G
SMH #BWA-G13	4.0'	4.0'	36"	1.00'	4.00'	5.50'	7.84'

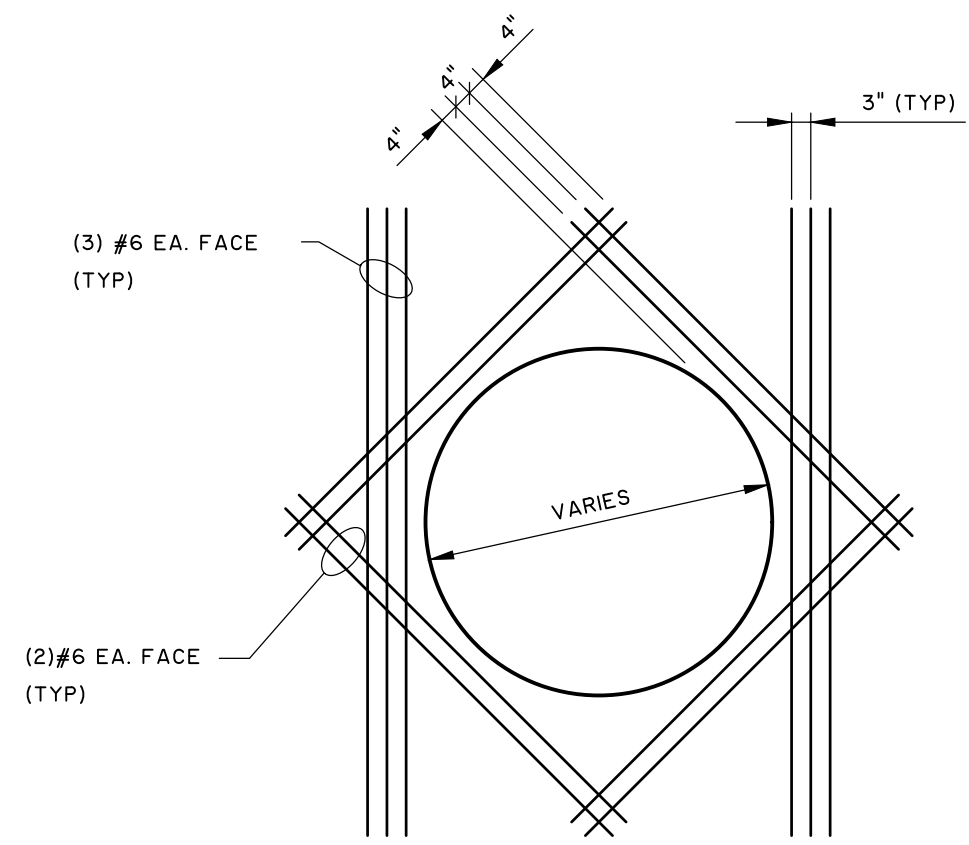
**SMH #BWA-G13 CONTROL STRUCTURE**

NOT TO SCALE



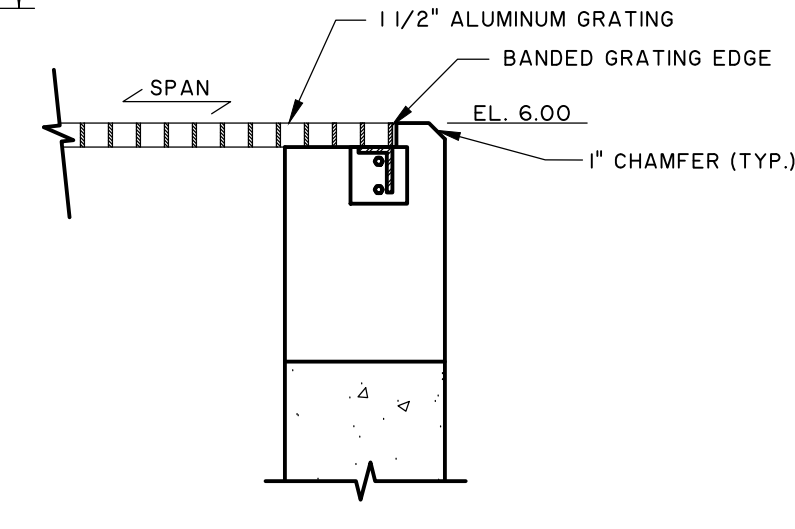
**WALL CORNER DETAIL**

NOT TO SCALE



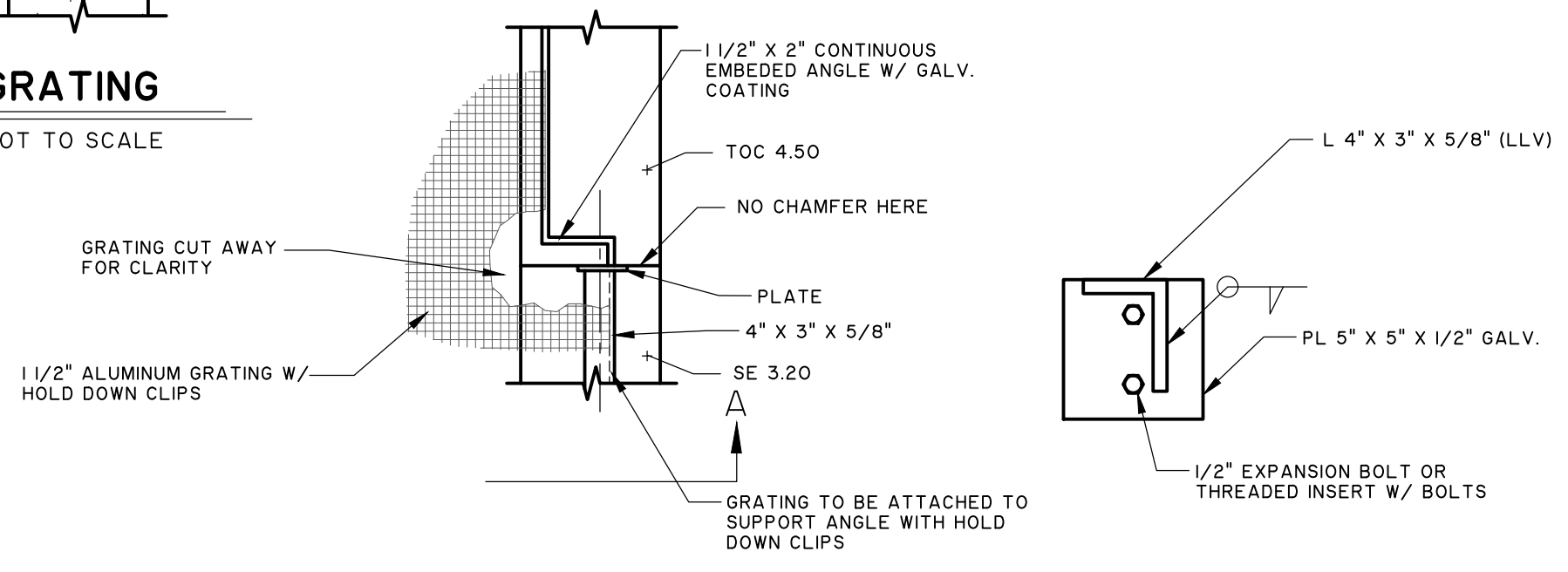
**TYPICAL WALL OPENING REINFORCING**

NOT TO SCALE



**GRATING**

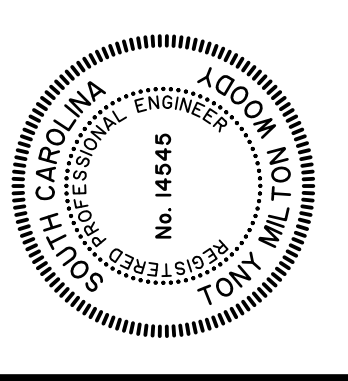
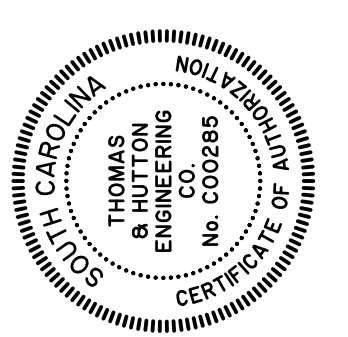
NOT TO SCALE



**GRATING SUPPORT ANGLE DETAIL**

NOT TO SCALE

1. ALL ATTACHMENT HARDWARE TO BE A-304 STAINLESS STEEL
2. ALUMINUM GRATING TO HAVE A MAXIMUM LIVE LOAD OF 100 PSF AND A MAXIMUM DEFLECTION OF 1/4"



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 OCEAN PINES  
 DETAILS

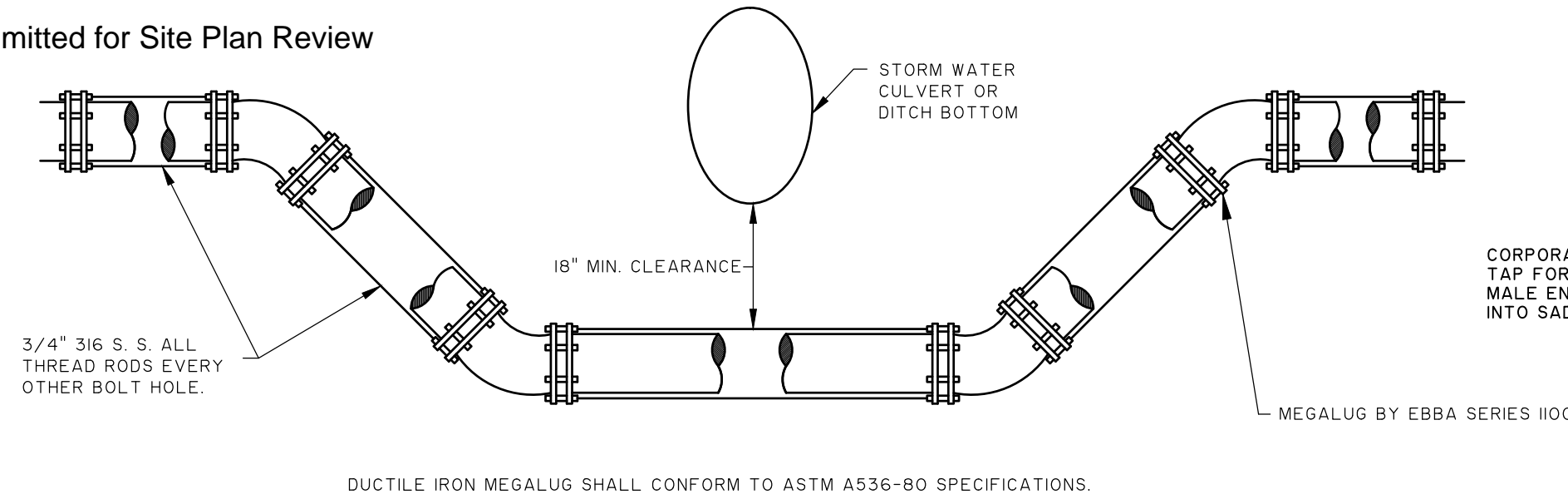
JOB NO:	J-25854.0000
DATE:	11/8/22
DRAWN:	LMD
DESIGNED:	LMD
REVIEWED:	DJJ
APPROVED:	DJJ
SCALE:	1" = 1'

C5.2



# Under Review

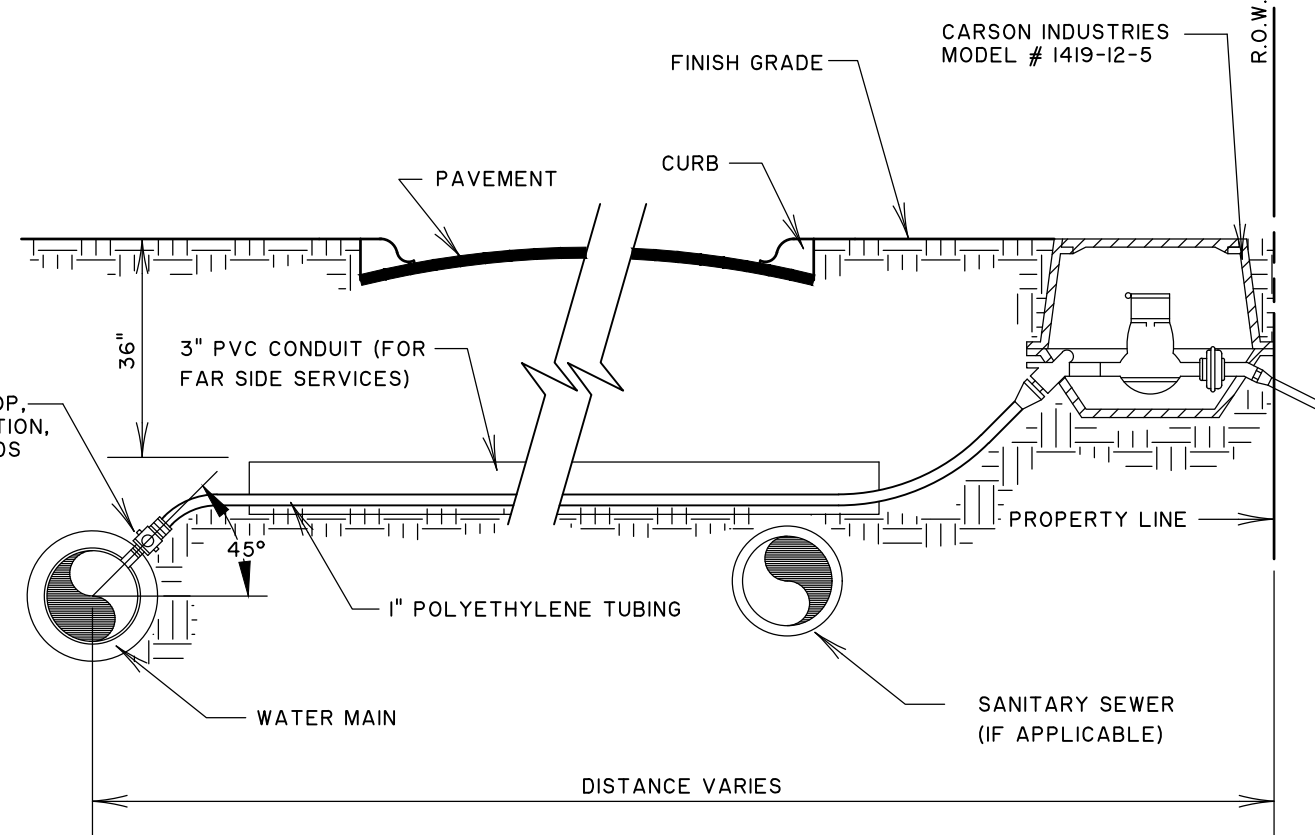
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## VERTICAL OFFSET DETAIL

NOT TO SCALE

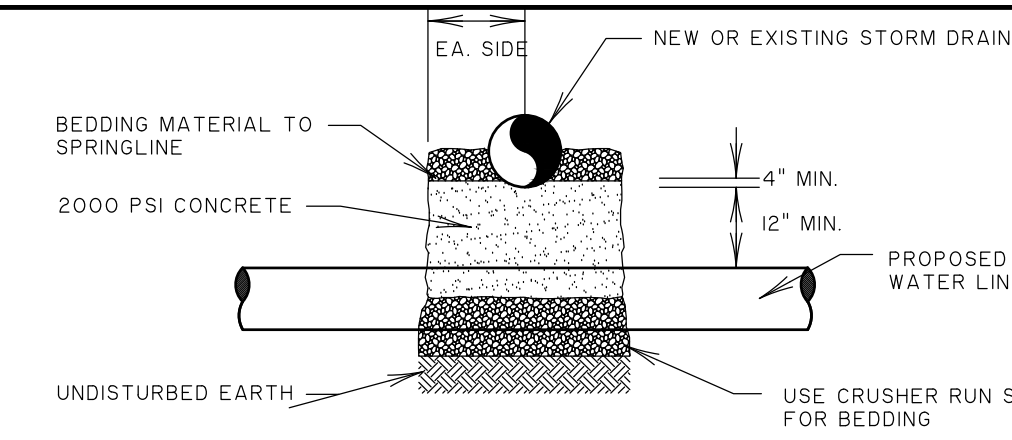
DUCTILE IRON MEGALUG SHALL CONFORM TO ASTM A536-80 SPECIFICATIONS.



## TYPICAL SINGLE RESIDENTIAL WATER SERVICE

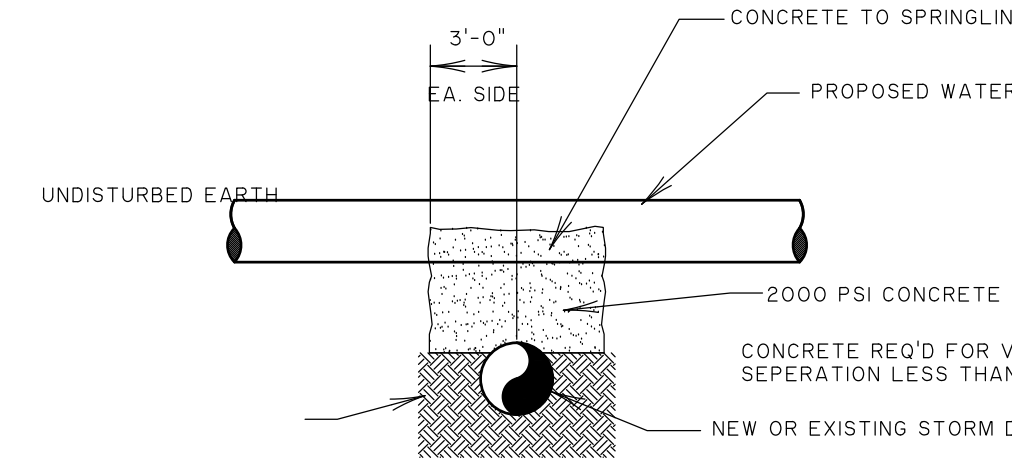
NOT TO SCALE

- CORPORATION STOP TO BE 1" MUELLER # H 15005
- POLYETHYLENE TUBING TO BE 1" IPS 4-04306
- CURB VALVE AND YOKE BOX TO BE CARSON INDUSTRIES MODEL # 1419-12-5
- WATER METER TO BE INSTALLED BY KIAWAH ISLAND UTILITY, INC.
- SEAL ENDS OF SLEEVE WITH WATER PROOF SEALANT
- 3" PVC CASING PIPE SHALL BE INSTALLED UNDER PAVING FOR ALL FAR SIDE SERVICES.



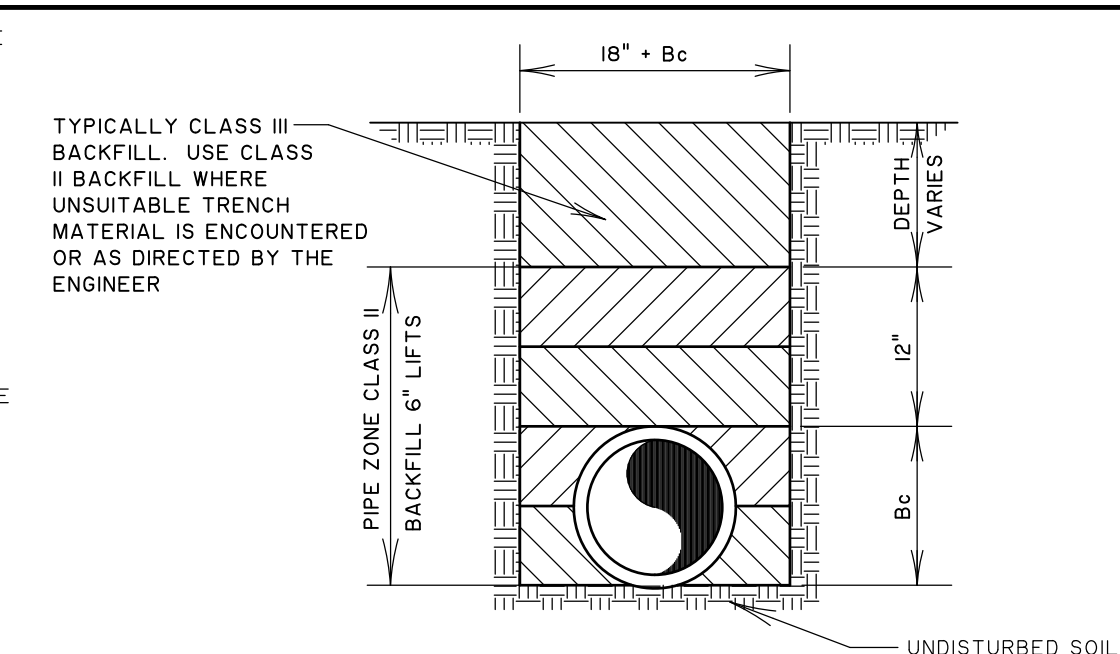
## WATER LINE CROSSING BELOW STORM DRAIN

NOT TO SCALE



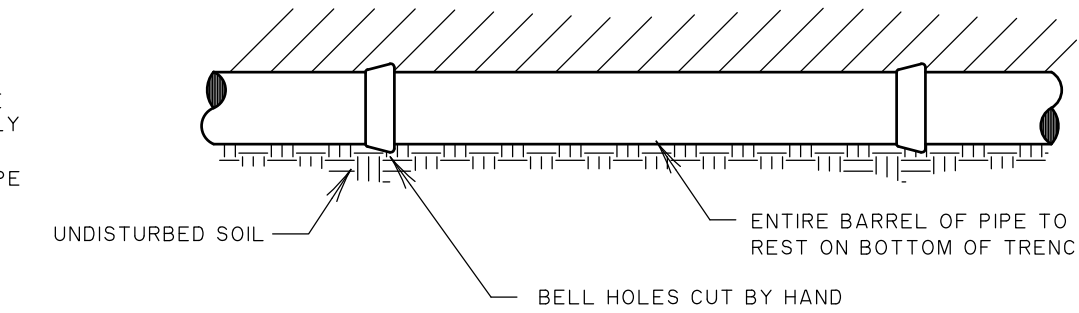
## WATER LINE CROSSING ABOVE STORM DRAIN

NOT TO SCALE



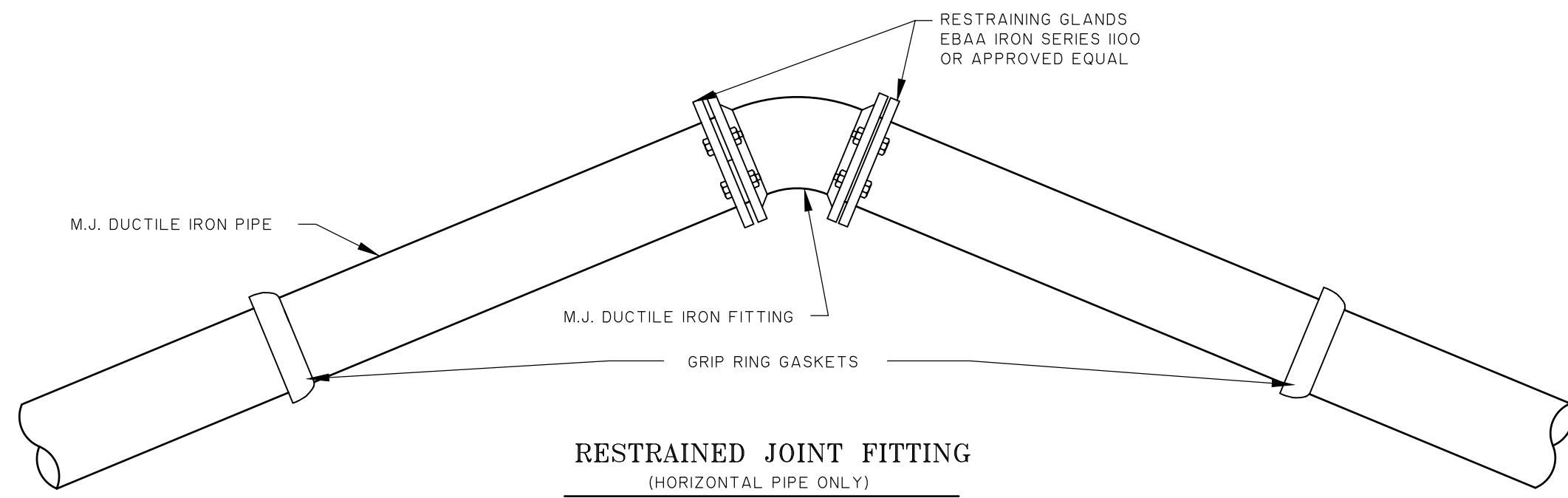
- INSTALL APPROVED METAL DETECTION TAPE 18" FROM FINISHED GRADE.
- FOR INFORMATION ON BACKFILL MATERIAL SEE SANITARY SEWER DETAIL SHEET
- ALL DUCTILE IRON PIPE WATER MAIN SHALL BE ENCASED IN 8 MIL. MINIMUM POLYETHYLENE FILM IN TUBE FORM.

## CROSS SECTION



## WATER MAIN BEDDING DETAIL

NOT TO SCALE



## RESTRAINED JOINT FITTING (HORIZONTAL PIPE ONLY)

NOT TO SCALE

### NOTES:

- THE FOLLOWING CONDITIONS WERE USED TO CALCULATE THE RESTRAINED LENGTHS:  
LAYING CONDITION IS TYPE 3;  
SOIL DESIGNATED AS SAND-SILT;  
DEPTH IS 3 FT.;  
DESIGN PRESSURE (TEST) IS 150 PSI;  
SAFETY FACTOR IS 1.5.  
FOR THE TEE BRANCH AND REDUCER, LENGTHS IN THE TABLE BELOW ARE BASED ON BRANCHING AND REDUCING FROM THE NEXT LARGER SIZE IN THE TABLE. DEVIATIONS FROM THESE CONDITIONS MUST BE BASED ON THE ABOVE PARAMETERS.
- JOINT RESTRAINT SHALL BE:  
FOR PVC (4"-12"): EBAA SERIES 1500 RESTRAINT HARNESS OR APPROVED EQUIVALENT  
FOR DIP: EBAA SERIES 1700 RESTRAINT HARNESS OR APPROVED EQUIVALENT

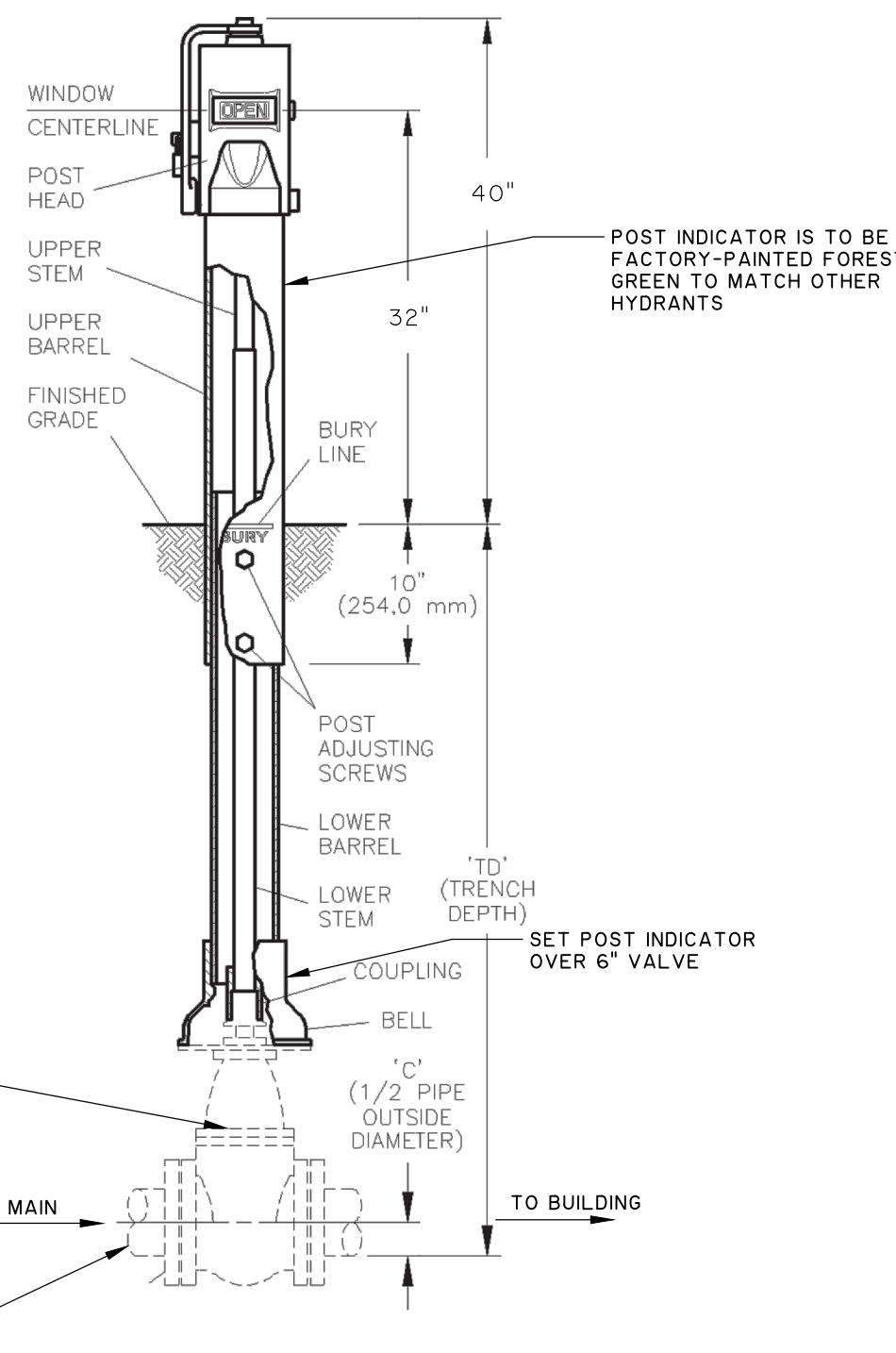
SIZE	RESTRAINED JOINT TABLE							
	LENGTH OF RESTRAINED JOINT REQUIRED (IN L.F. EACH SIDE OF THE BEND)							
	1 1/4"	2 1/2"	4 5/8"	9 1/2"	TEE BRANCH	DEAD END	REDUCER	VALVE
4"	2	5	10	24	37	60	44	60
6"	3	7	14	33	64	85	46	85
8"	4	9	18	43	90	110	46	110
10"	5	10	21	51	113	133	50	133
12"	10	20	30	60	140	160	60	160

## RESTRAINED JOINT FITTING

NOT TO SCALE

## GENERAL NOTES

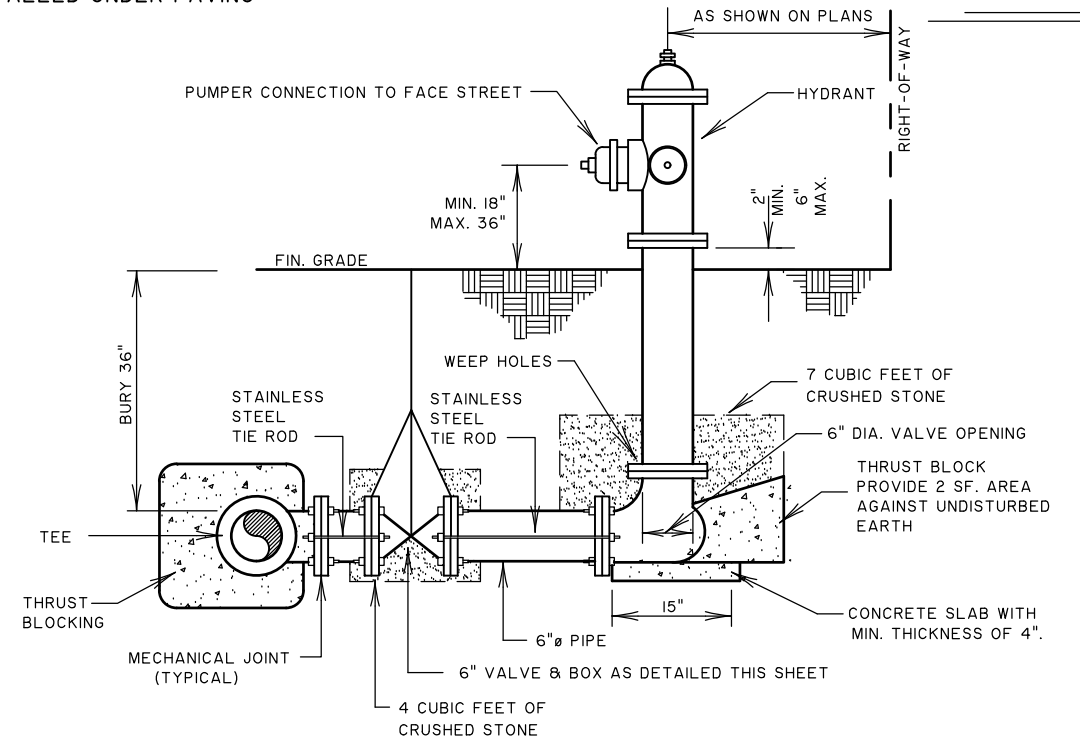
- ALL VALVES AND HYDRANTS SHALL OPEN COUNTER CLOCKWISE.
- THE CONTRACTOR MUST CALL KIAWAH ISLAND UTILITY, INC. 72 HOURS PRIOR TO TAPPING THE MAIN WATER LINE, PERFORMING A PRESSURE TEST, OR CONDUCTING BACTERIOLOGICAL TESTS. KIAWAH ISLAND UTILITY, INC. WILL HAVE A COMPANY REPRESENTATIVE ON SITE FOR EACH OF THESE EVENTS. KIAWAH ISLAND UTILITY, INC. MUST ALSO BE NOTIFIED AND PRESENT FOR THE INSPECTION OF ALL HYDRANTS, VALVES, AND THRUST BLOCKS PRIOR TO THEM BEING COVERED.
- AFTER A SUCCESSFUL PRESSURE TEST, THE CONTRACTOR MUST CONDUCT BACTERIOLOGICAL TESTS ACCORDING TO SC DHC REGULATIONS. TWO SAMPLES MUST SHOW NEGATIVE BACTERIOLOGICAL RESULTS OR THE PROCESS MUST BE REPEATED. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS OF ALL TESTING, INCLUDING WATER USED IN FLUSHING.
- ALL NEW FIRE HYDRANTS MUST BE TESTED FOR STATIC AND RESIDUAL FLOWS AND THE FLOWS AT 20 PSI.
- KIAWAH ISLAND UTILITY, INC. SHALL HAVE THE RIGHT OF ENTRY TO THE CONSTRUCTION SITE TO OBSERVE AND VERIFY THAT THE CONSTRUCTION IS IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND TO WITNESS TESTING OF THE SYSTEM.



## VERTICAL POST INDICATOR

NOT TO SCALE

- TRENCH DEPTH OF 6" PIPE IS TO BE MIN. 30"
- GATE VALVE TO BE DIP BODY CONFORMING TO AWWA C-509-09 WITH A WORKING PRESSURE RATING OF 200 PSI.
- VERTICAL POST INDICATOR TO BE MUELLER A-20806 OR EQUAL.

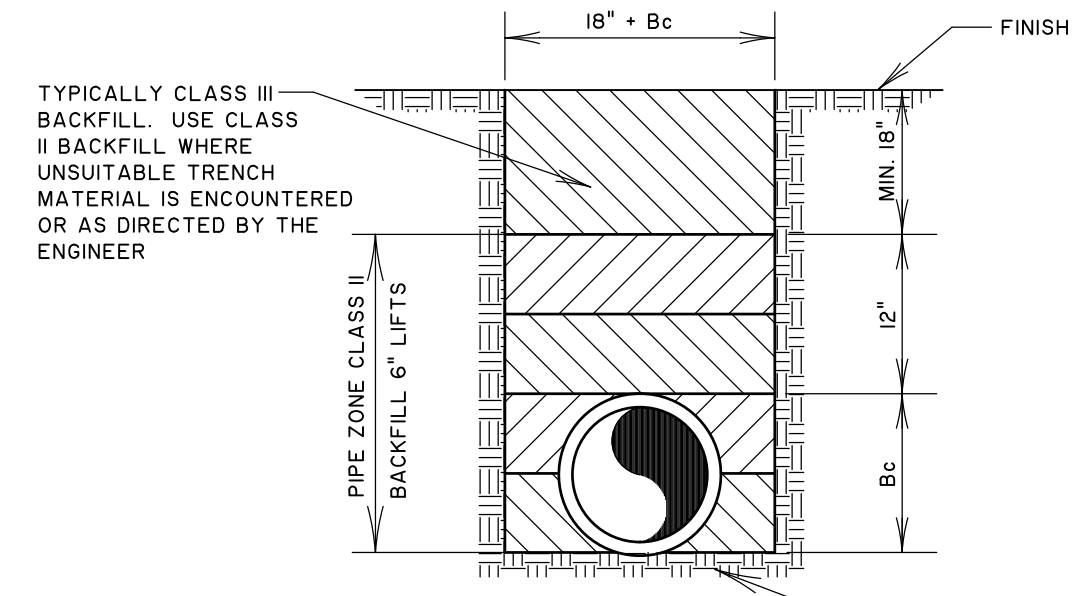


### NOTES:

- FIRE HYDRANT TO BE PLACED A MIN. OF 3' FROM EDGE OF PAVEMENT AND BACK OF CURB.
- PUMPER CONNECTION TO FACE STREET AND HOSE CONNECTIONS SHALL BE FREE OF OBSTRUCTIONS.
- TOP OF VALVE BOXES TO BE 1" ABOVE FINISHED GRADE IN UNPAVED AREAS AND FLUSH IN PAVED AREAS.
- ALL FIRE HYDRANTS ARE TO BE FACTORY PAINTED FOREST GREEN.
- FIRE HYDRANT TO BE 5 1/4" MAIN NOZZLE, OPEN LEFT, AMERICAN DARLING 6" B-84-B-A OR MUELLER SUPER CENTURION 250.

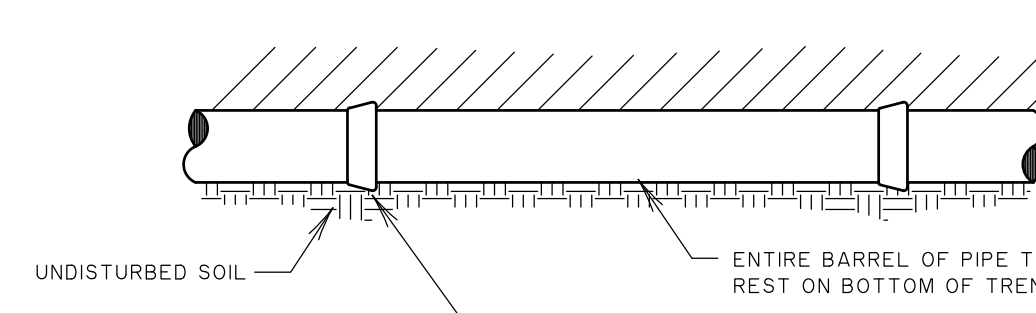
## FIRE HYDRANT DETAIL

NOT TO SCALE



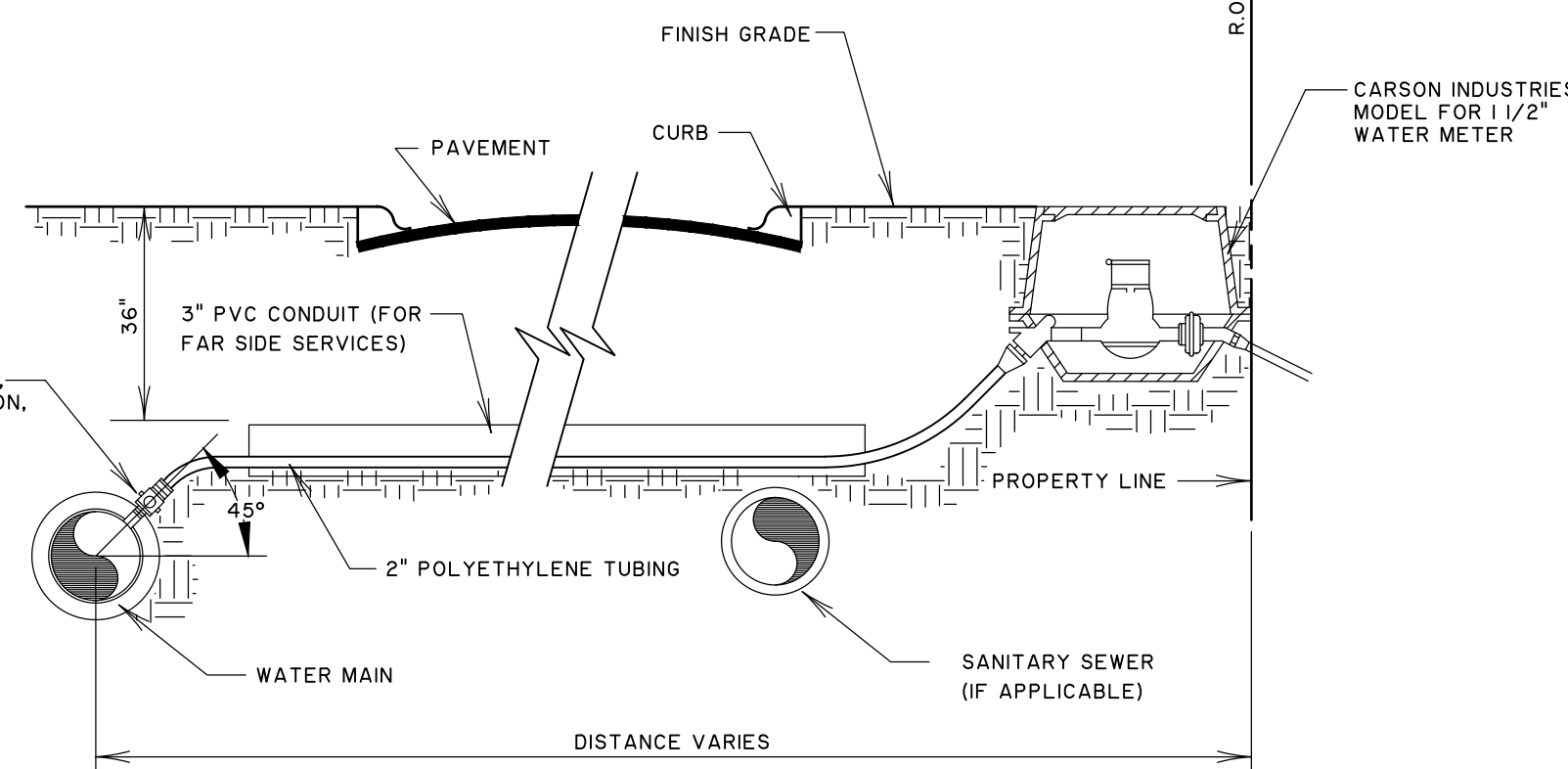
- INSTALL APPROVED METAL DETECTION TAPE 18" FROM FINISHED GRADE.
- FOR INFORMATION ON BACKFILL MATERIAL SEE SANITARY SEWER DETAIL SHEET
- ALL DUCTILE IRON PIPE WATER MAIN SHALL BE ENCASED IN 8 MIL. MINIMUM POLYETHYLENE FILM IN TUBE FORM.

## CROSS SECTION



## FIRE MAIN BEDDING DETAIL

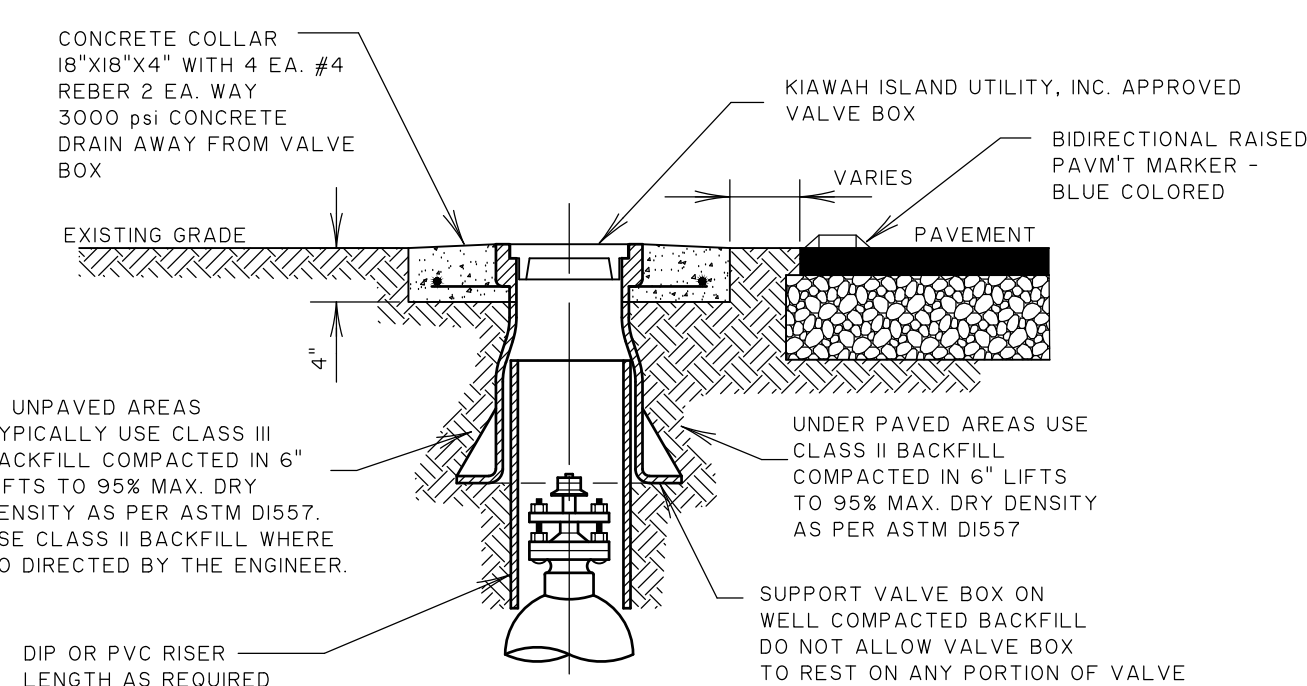
NOT TO SCALE



## TYPICAL MULTI-FAMILY BUILDING WATER SERVICE

NOT TO SCALE

- CORPORATION STOP TO BE 2" MUELLER # H 15005
- POLYETHYLENE TUBING TO BE 2" IPS 4-04306
- CURB VALVE AND YOKE BOX TO BE CARSON INDUSTRIES MODEL # 1419-12-5
- WATER METER TO BE INSTALLED BY KIAWAH ISLAND UTILITY, INC.
- SEAL ENDS OF SLEEVE WITH WATER PROOF SEALANT
- 3" PVC CASING PIPE SHALL BE INSTALLED UNDER PAVING FOR ALL FAR SIDE SERVICES.

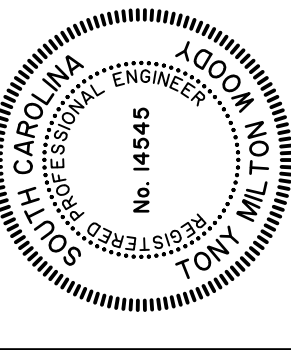
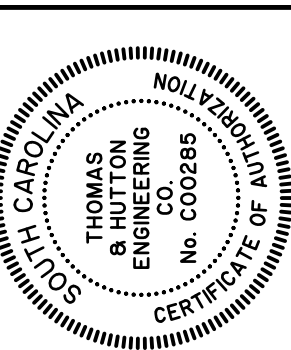


### NOTES:

- CENTER VALVE BOX OVER OPERATING NUT TO INSURE FREE VALVE OPERATION.
- USE 6" RISER PIPE ON 4" AND 6" VALVES.
- USE 8" RISER PIPE ON 8" VALVES AND LARGER.
- LOCATION OF VALVE SHALL BE MARKED WITH A CLEAR BIDIRECTIONAL RAISED PAVEMENT MARKER ON THE EDGE OF PAVEMENT NEAR THE VALVE.

## VALVE BOX DETAIL

NOT TO SCALE



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OCEAN PINES  
WATER DETAILS

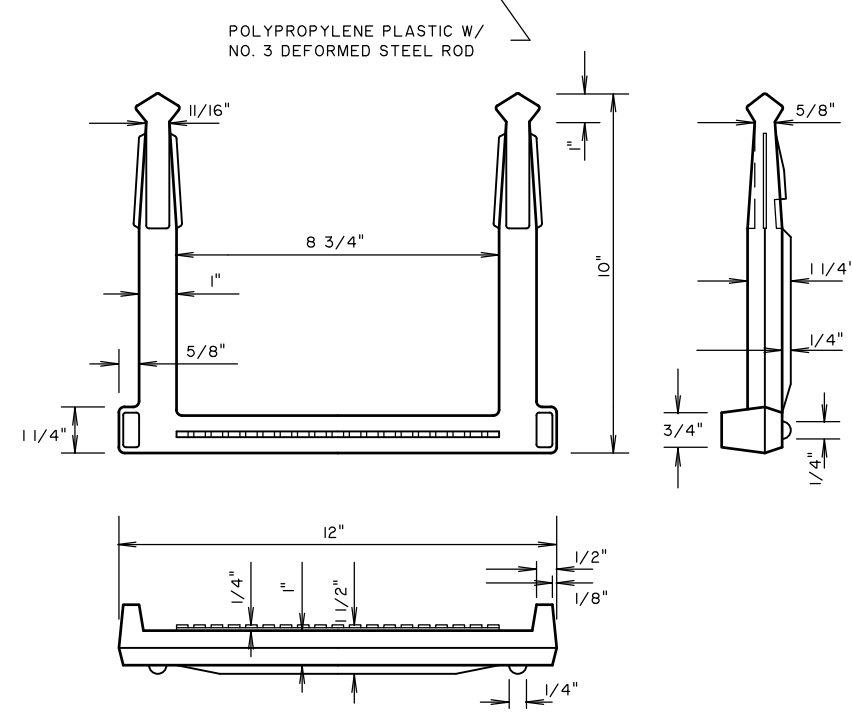
JOB NO:	J-25854.0000
DATE:	11/8/22
DRAWN:	LMD
DESIGNED:	LMD
REVIEWED:	DJJ
APPROVED:	DJJ
SCALE:	1" = 1'

C5.3

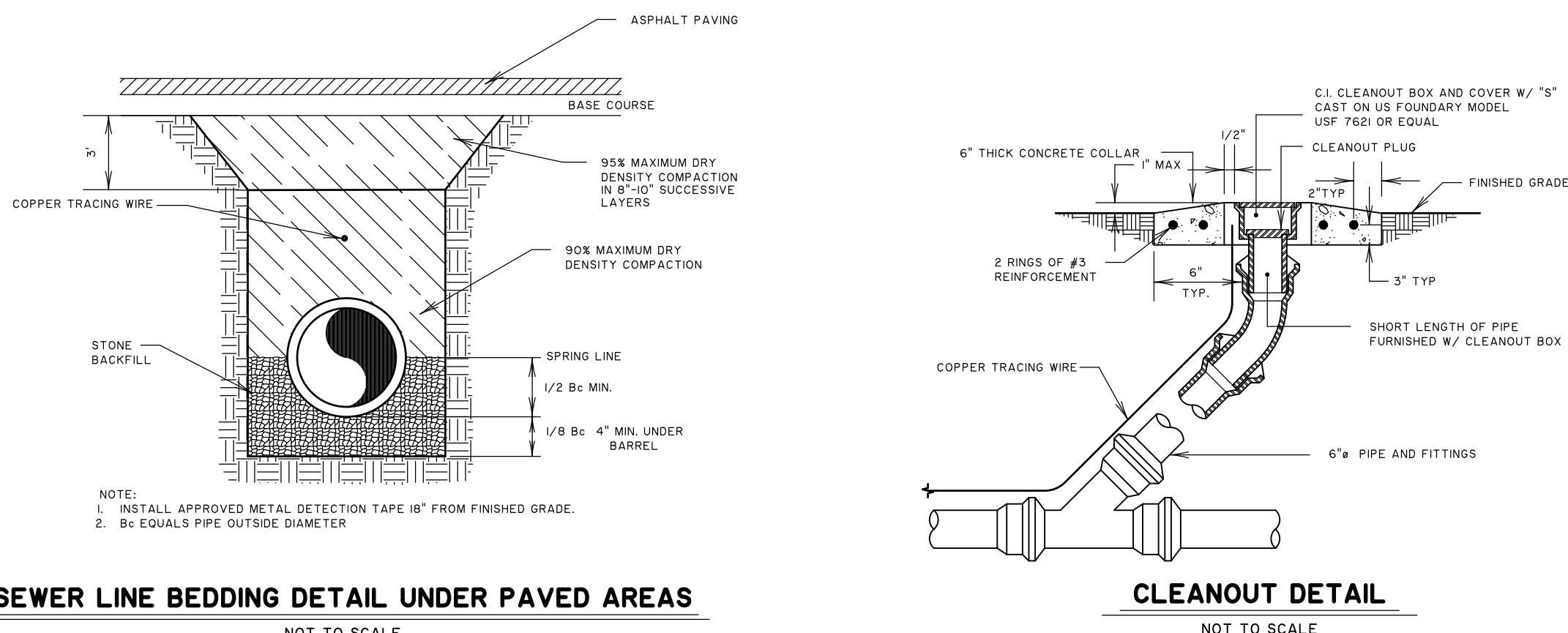


# Under Review

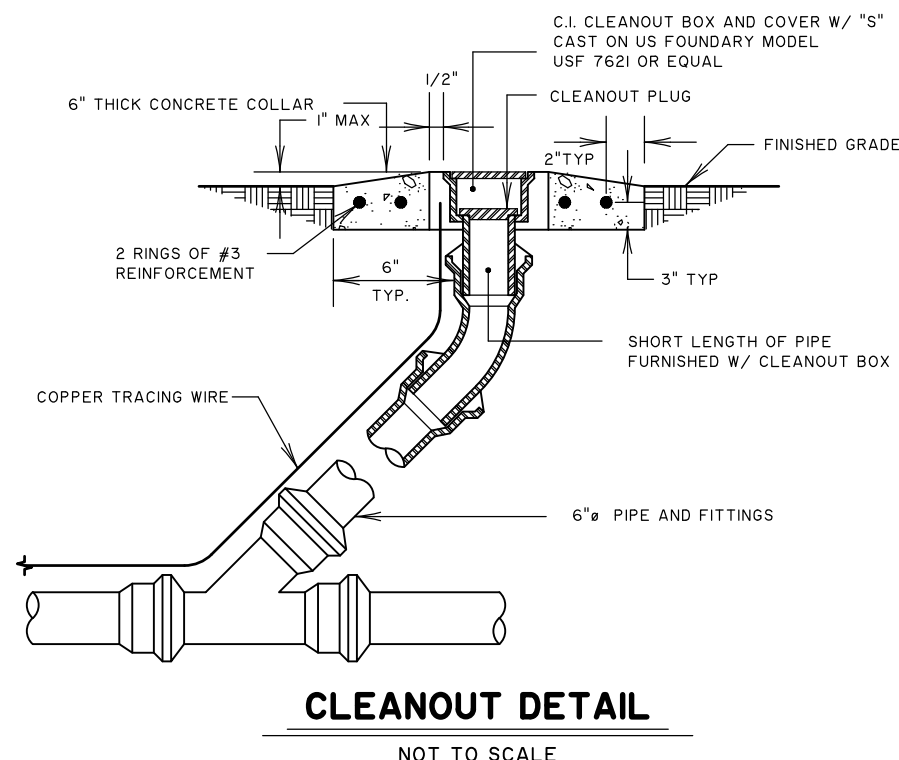
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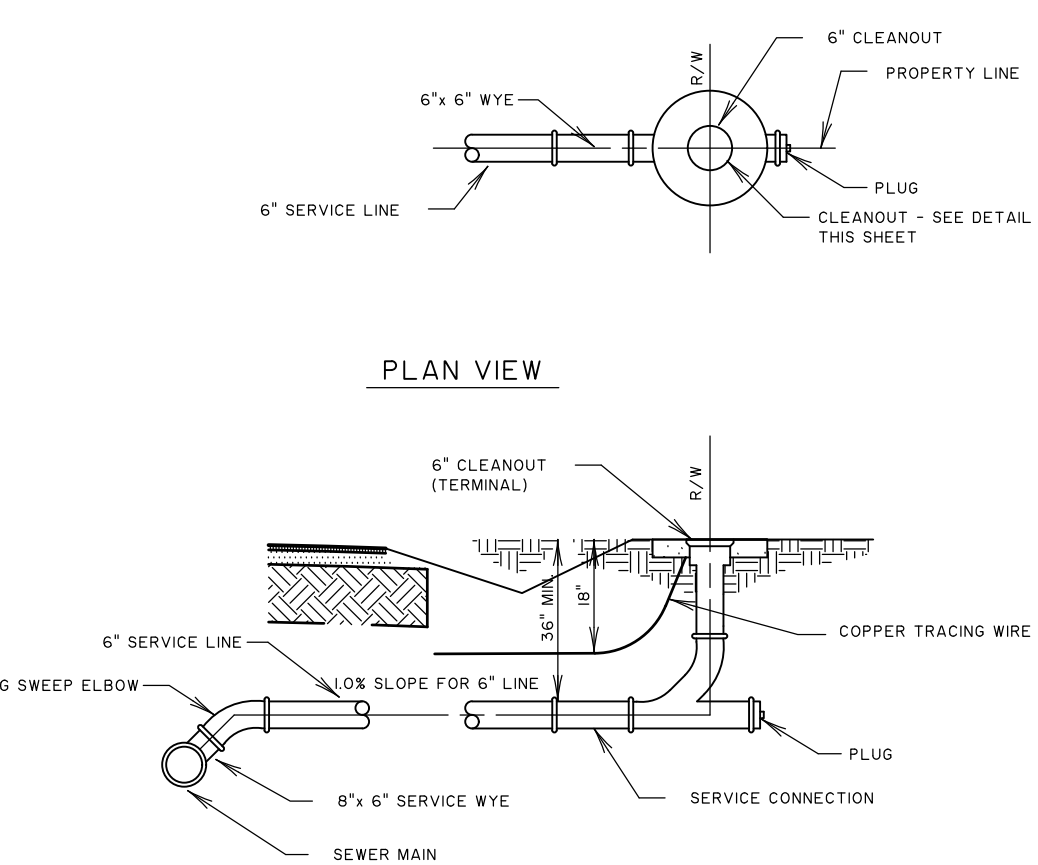
**MANHOLE STEP DETAIL**  
NOT TO SCALE



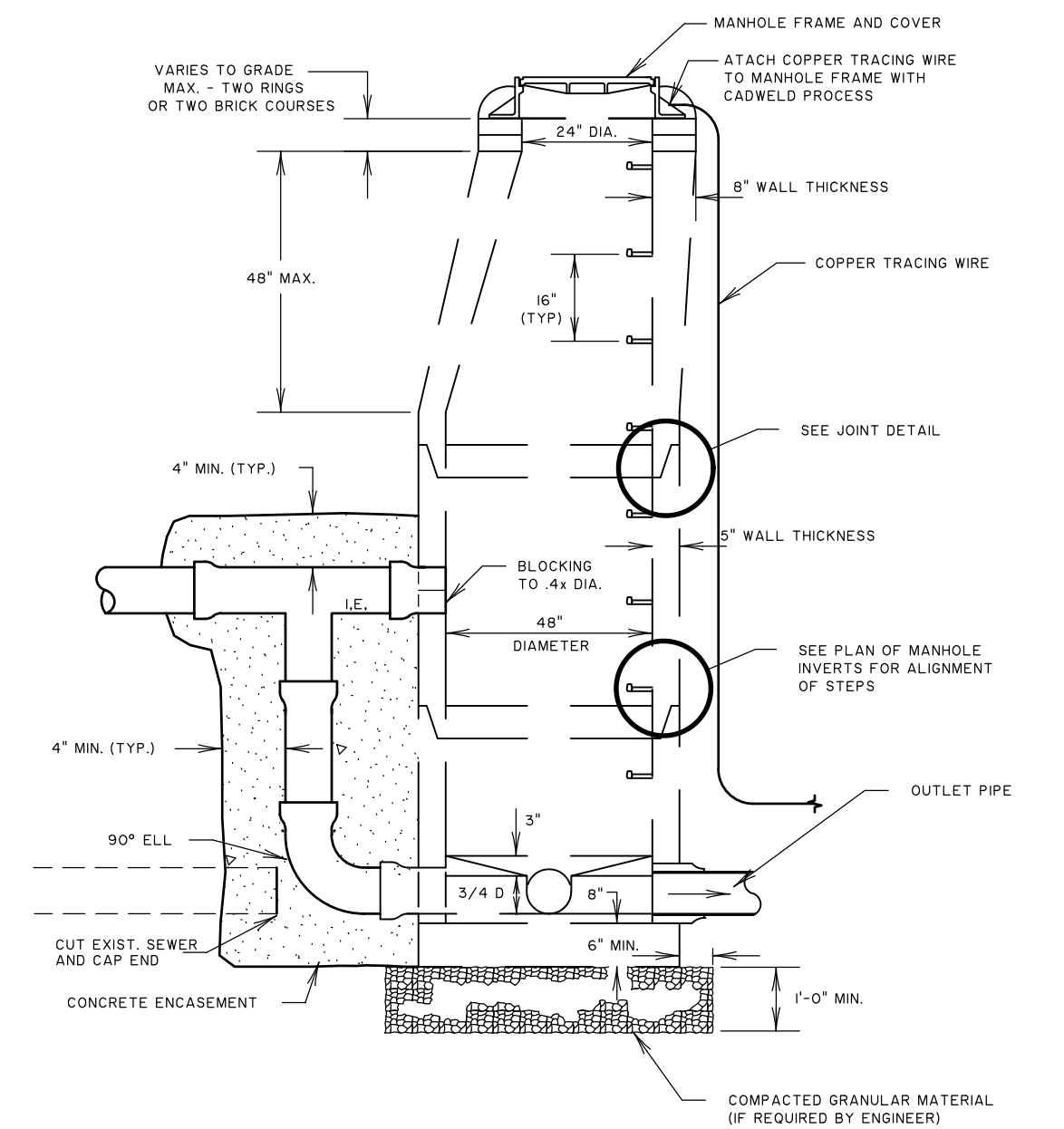
**SEWER LINE BEDDING DETAIL UNDER PAVED AREAS**  
NOT TO SCALE



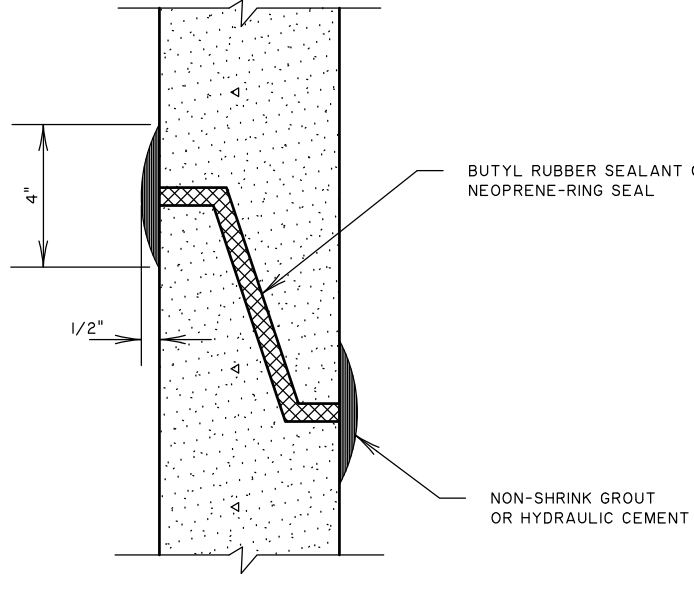
**CLEANOUT DETAIL**  
NOT TO SCALE



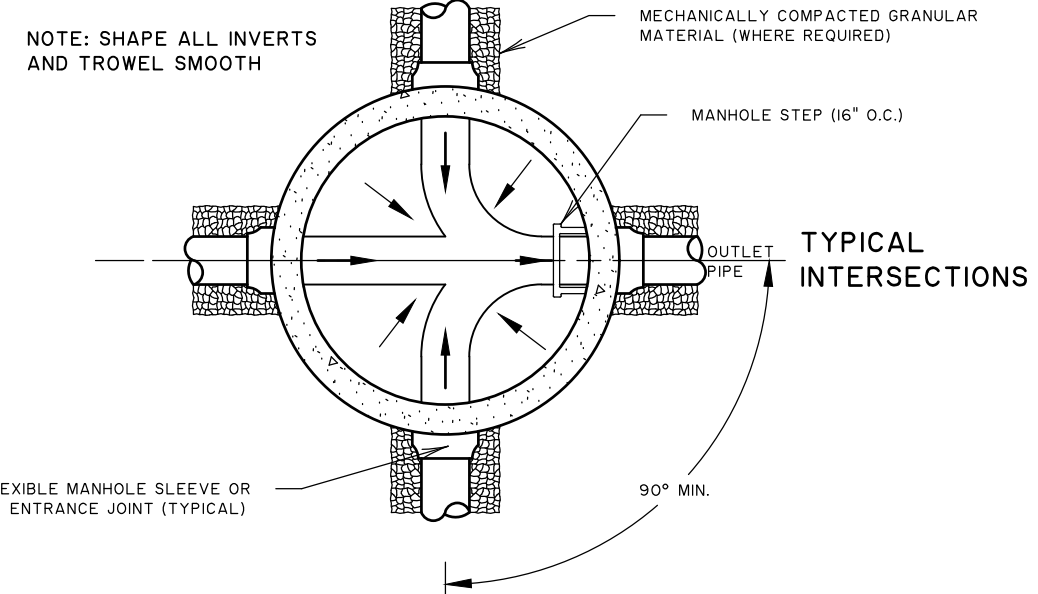
**SINGLE SEWER SERVICE DETAIL**  
NOT TO SCALE



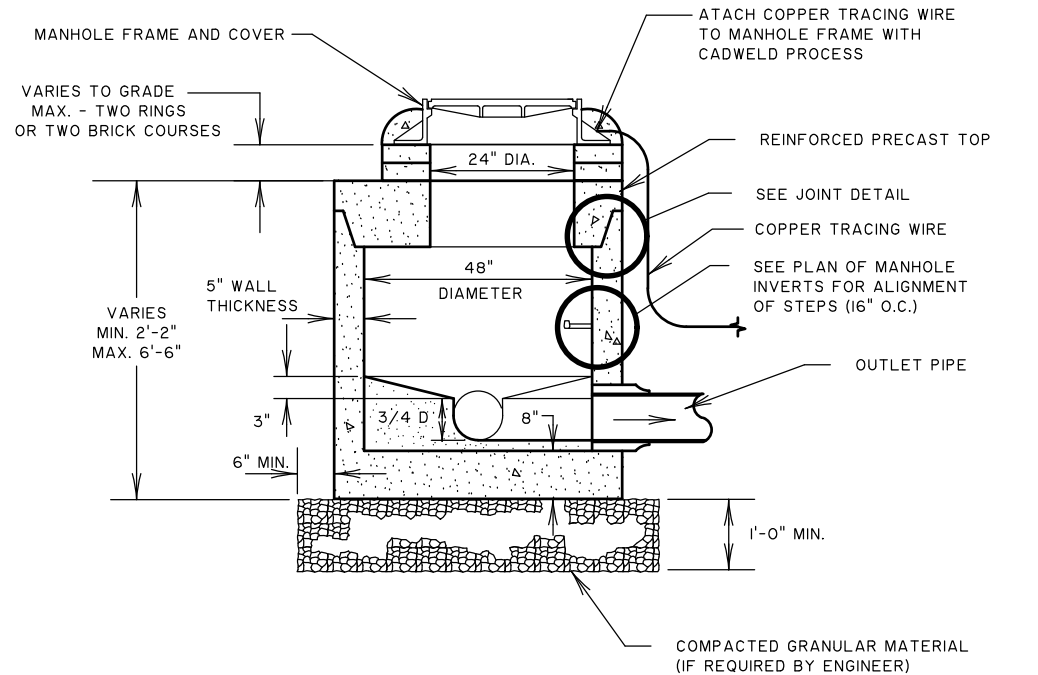
**STANDARD DROP MANHOLE**  
NOT TO SCALE



**PRECAST MANHOLE TYPICAL JOINT DETAIL**  
NOT TO SCALE

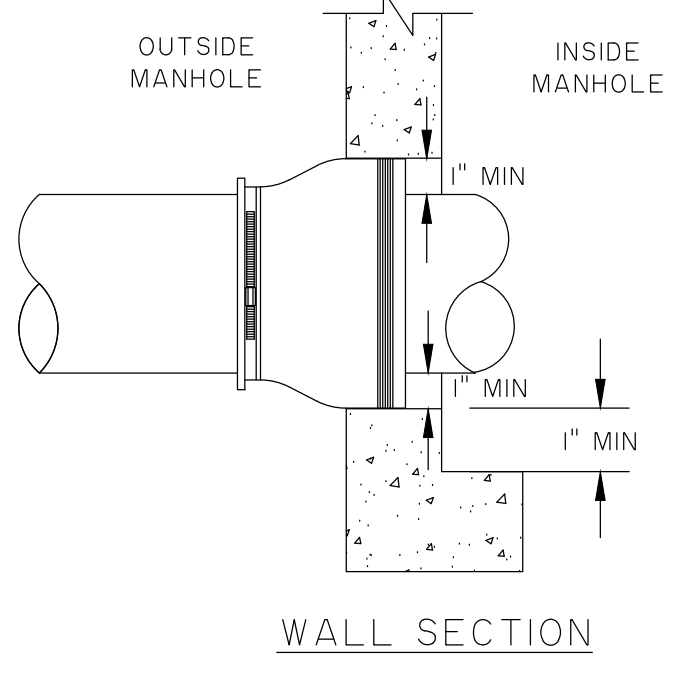


**PLAN OF MANHOLE INVERTS**  
NOT TO SCALE

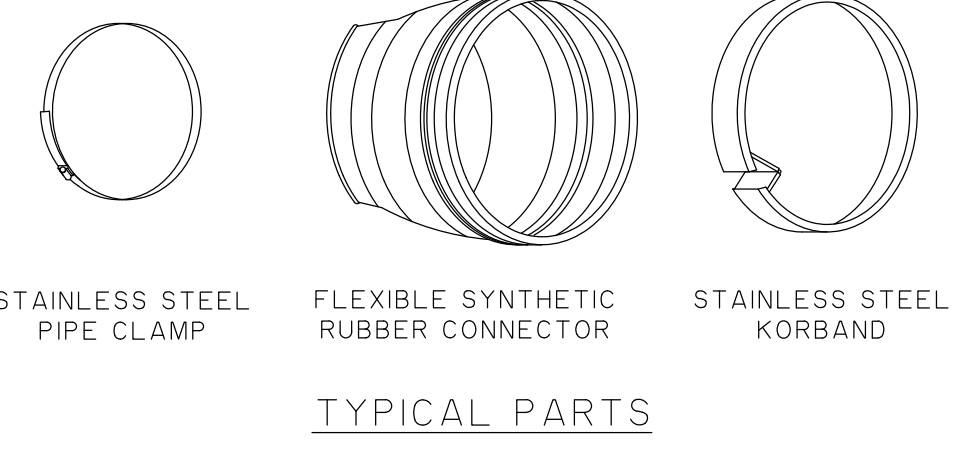


**STANDARD PRECAST SHALLOW MANHOLE**  
NOT TO SCALE

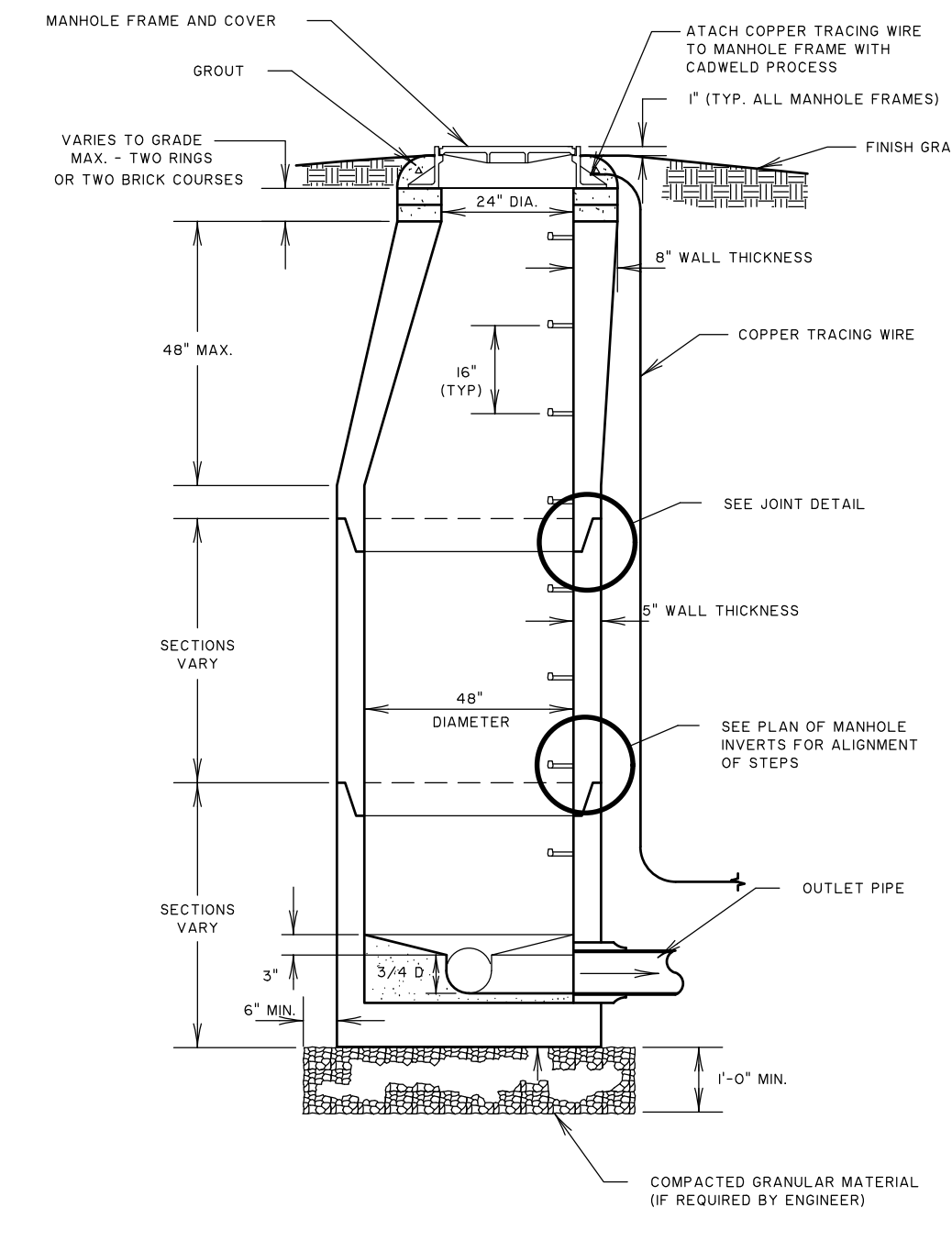
- NOTES:**
1. NEOPRENE BOOT, KOR-N-SEAL OR EQUAL, TO BE USED ON ALL PRECAST MANHOLES WITH ALL TYPES OF PIPES.
  2. EXTERNAL BAND (300-SERIES NON-MAGNETIC CORROSION-RESISTANT STEEL).
  3. KORBAND (6061-T6 ALUMINUM ALLOY WITH A BLACK ANODIZED SURFACE).



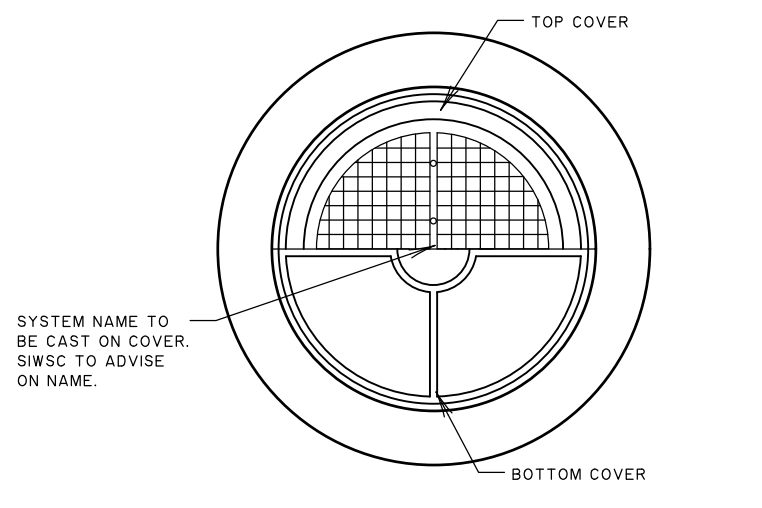
**FLEXIBLE MANHOLE SLEEVE**  
NOT TO SCALE



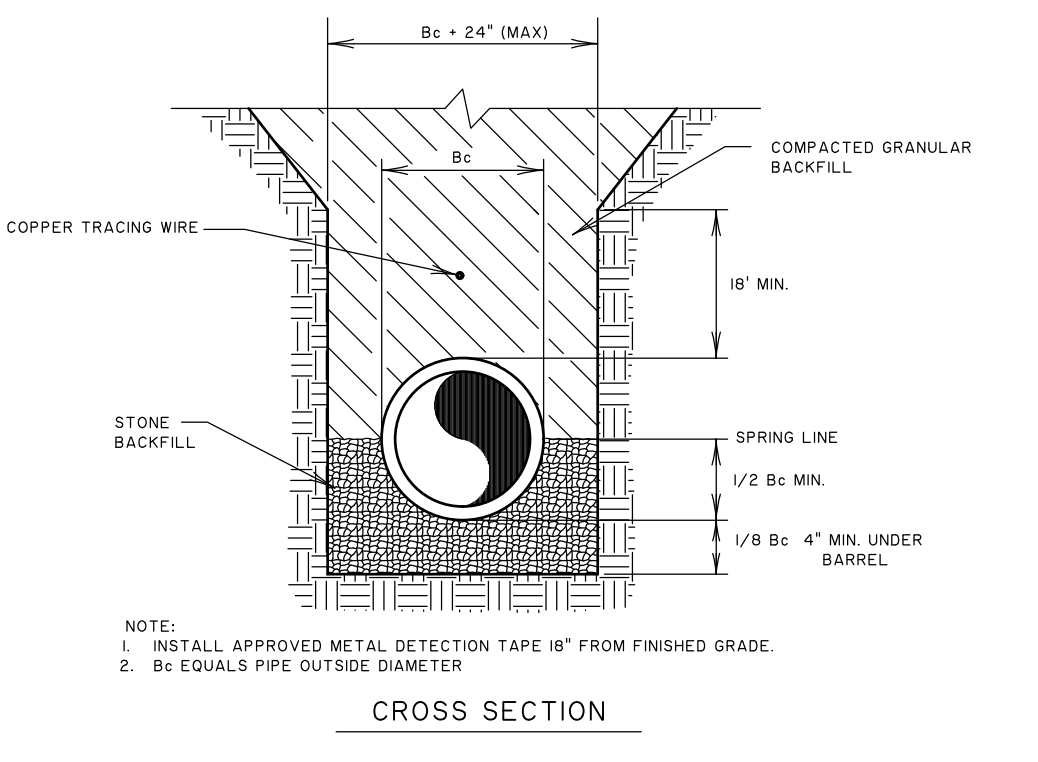
**TYPICAL PARTS**



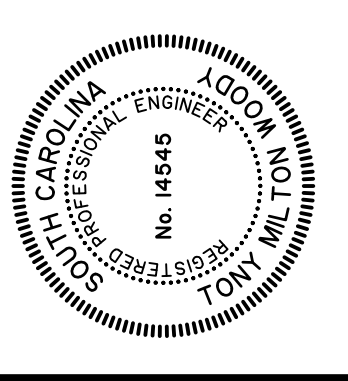
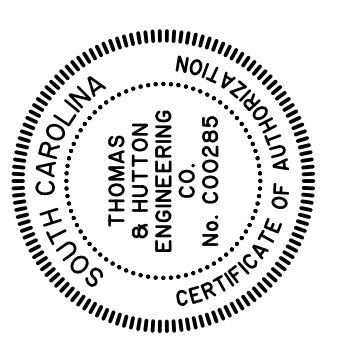
**STANDARD PRECAST MANHOLE**  
NOT TO SCALE



**MANHOLE COVER AND FRAME DETAIL**  
NOT TO SCALE



**SEWER LINE BEDDING DETAIL**  
NOT TO SCALE



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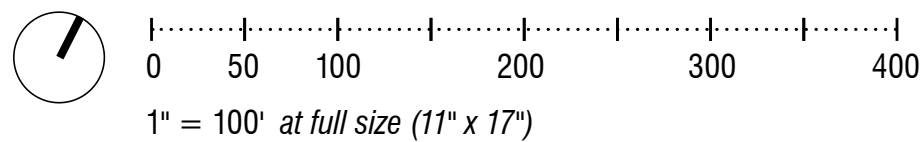
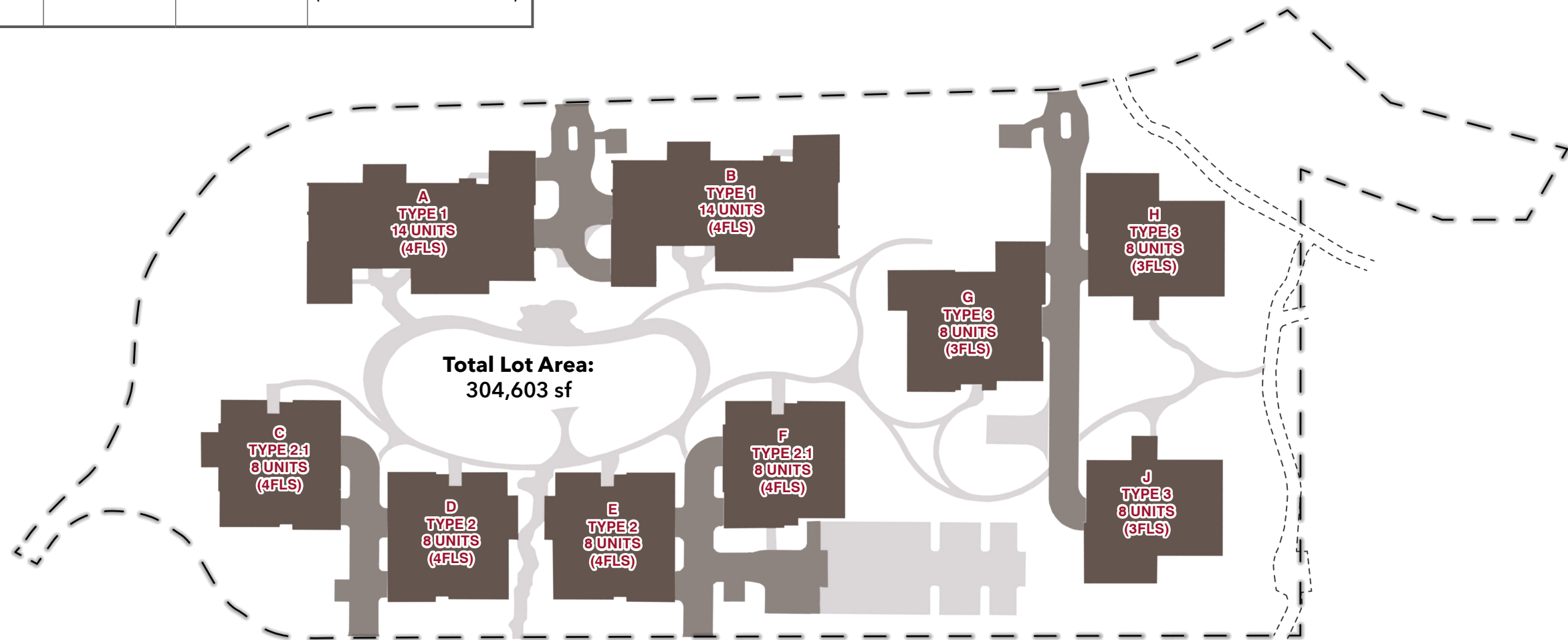
C5.4



# Under Review

Submitted for Site Plan Review

COVERAGE AREA TOTALS			
Total Lot Area: 304,603 SF	Coverage in Square Feet	Coverage as % of Lot Area	Pervious Coverage in Square Feet
Building Footprints & Occupied Overhangs	+/- 77,106 SF	25.31%	0 SF
Drive Alleys, Dumpster Holding Pads & Exterior Parking	+/- 20,226 SF	6.64%	+/- 1,965 SF
<b>Total Primary Coverage (Not to exceed 33% of Lot Area)</b>	<b>+/- 97,332 SF</b>	<b>31.95%</b>	<b>+/- 1,965 SF (2.06% of Primary Cov.)</b>
Secondary Elements	+/- 22,404 SF	7.38%	+/- 19,087 SF (85.19% of Secondary Cov.)
<b>Total Primary and Secondary Lot Coverage (Not to exceed 39.67% of Lot Area)</b>	<b>+/- 119,736 SF</b>	<b>39.31%</b>	<b>+/- 21,052 SF (17.58% of Combined Cov.)</b>



\*KICA leisure trail shown for reference only

## Site Coverage



# Under Review

Submitted for Site Plan Review

Description:	LS3P Revised Building Footprints Coverage (SF)	T&H Revised Civil Site Plan Coverage (SF)	W+C Revised Landscape Coverage (SF)	Primary Coverage (SF)	Secondary Coverage (SF)	Pervious & Impervious Coverage Areas
Building A	12,257.0	N/A	N/A	12,257.0	N/A	Impervious
Building B	12,236.0	N/A	N/A	12,236.0	N/A	Impervious
Building C	7,395.0	N/A	N/A	7,395.0	N/A	Impervious
Building D	7,266.0	N/A	N/A	7,266.0	N/A	Impervious
Building E	7,266.0	N/A	N/A	7,266.0	N/A	Impervious
Building F	6,822.0	N/A	N/A	6,822.0	N/A	Impervious
Building G	9,036.0	N/A	N/A	9,036.0	N/A	Impervious
Building H	7,414.0	N/A	N/A	7,414.0	N/A	Impervious
Building J	7,414.0	N/A	N/A	7,414.0	N/A	Impervious
<b>Buildings Subtotal:</b>	<b>77,106.0</b>	<b>N/A</b>	<b>N/A</b>	<b>77,106.0</b>	<b>N/A</b>	<b>Pervious Area (Primary): 0 sf</b>
Alley A (GHJ Driveway)	N/A	6,458.0	N/A	6,458.0	N/A	Impervious
Alley B (AB Driveway)	N/A	3,792.0	N/A	3,792.0	N/A	Impervious
Alley C (CD Driveway)	N/A	3,227.0	N/A	3,227.0	N/A	Impervious
Alley D (EF Driveway)	N/A	3,661.0	N/A	3,661.0	N/A	Impervious
Ext. Parking Lot (Primary)	N/A	1,965.0	N/A	1,965.0	N/A	Pervious Area (Primary): 1,965 sf
<b>Alley/Driveway &amp; Parking Subtot:</b>	<b>N/A</b>	<b>19,103.0</b>	<b>N/A</b>	<b>19,103.0</b>	<b>N/A</b>	<b>Pervious Area (Primary): 1,965 sf</b>
Dumpster Pad (A/B)	N/A	150.0	N/A	150.0	N/A	Impervious
Dumpster Path (A/B)	N/A	135.0	N/A	135.0	N/A	Impervious
Dumpster Pad (C/D)	N/A	150.0	N/A	150.0	N/A	Impervious
Dumpster Path (C/D)	N/A	60.0	N/A	60.0	N/A	Impervious
Dumpster Pad (E/F)	N/A	150.0	N/A	150.0	N/A	Impervious
Dumpster Path (E/F)	N/A	60.0	N/A	60.0	N/A	Impervious
Dumpster Pad (G/H/J)	N/A	220.0	N/A	220.0	N/A	Impervious
Dumpster Path (G/H/J)	N/A	198.0	N/A	198.0	N/A	Impervious
<b>Other Primary Areas Subtotal:</b>	<b>N/A</b>	<b>1,123.0</b>	<b>N/A</b>	<b>1,123.0</b>	<b>N/A</b>	<b>Pervious Area (Primary): 0 sf</b>
Fire Access (near Bldg AB)	N/A	173.0	N/A	N/A	173.0	Pervious Area: 173 sf
Fire Access (near Bldg GJ)	N/A	947.0	N/A	N/A	947.0	Pervious Area: 947 sf
Ext. Parking Lot (Secondary)	N/A	8,540.0	N/A	N/A	8,540.0	Pervious Area: 8,540sf
<b>Other Secondary Areas Subtotal:</b>	<b>N/A</b>	<b>9,660.0</b>	<b>N/A</b>	<b>N/A</b>	<b>9,660.0</b>	<b>Pervious Area (Secondary): 9,660 sf</b>
Boardwalk	N/A	N/A	3,298.0	N/A	3,298.0	Pervious Area: 3,298 sf
Paths	N/A	N/A	6,129.0	N/A	6,129.0	Pervious Area: 6,129 sf
Hardscape at Garden/Pond Entries	N/A	N/A	1,990.0	N/A	1,990.0	Impervious
Other Hardscape Areas	N/A	N/A	1,327.0	N/A	1,327.0	Impervious
<b>Landscape Secondary Subtotal:</b>	<b>N/A</b>	<b>N/A</b>	<b>12,744.0</b>	<b>N/A</b>	<b>12,744.0</b>	<b>Pervious Area (Secondary): 9,427 sf</b>
<b>Primary Coverage Subtotal:</b>				<b>97,332.0</b>	<b>N/A</b>	<b>Pervious Primary Coverage: 1,965 sf (2.01% of Primary Coverage)</b>
<b>Secondary Coverage Subtotal:</b>				<b>N/A</b>	<b>22,404.0</b>	<b>Pervious Secondary Coverage: 19,087 sf (85.19% of Secondary Coverage)</b>
<b>Combined Coverage Subtotal:</b>					<b>119,736.0</b>	<b>Pervious Combined Coverage: 21,052 sf (17.58% of Combined Coverage)</b>
<b>Total Lot Area (Highland Area):</b>					<b>304,603.0</b>	<b>Pervious Combined Coverage: 21,052 sf (6.91% of Total Lot Area)</b>
<b>Primary Coverage (% of Highland Area) [Max 33%]:</b>					<b>31.95%</b>	
<b>Combined Coverage (% of Highland Area) [Max 39.67%]:</b>					<b>39.31%</b>	
<b>Available SF (Primary):</b>					<b>3,187.0</b>	
<b>Available SF (Combined):</b>					<b>1,100.0</b>	
<b>Max Coverage (Primary):</b>					<b>100,519.0</b>	
<b>Max Coverage (Combined):</b>					<b>120,836.0</b>	



## Under Review

Submitted for Site Plan Review

# Ocean Pines

## Sheet Index

L-0.0	Illustrative Site Plan
L-1.0	Limits of Initial Clearing
L-2.0	Site Plan - Overall
L-2.1	Site Plan - West
L-2.2	Site Plan - East
L-2.3	Site Plan Enlargements
L-2.4	Site Plan Enlargements
L-2.5	Site Plan Enlargements
L-3.0	Site Details
L-4.0	Planting Plan - Overall
L-4.1	Planting and Lighting Plan - West Pond
L-4.2	Planting and Lighting Plan - East Pond
L-4.3	Planting and Lighting Plan - Building A
L-4.4	Planting and Lighting Plan - Building B
L-4.5	Planting and Lighting Plan - Building C
L-4.6	Planting and Lighting Plan - Buildings D + E
L-4.7	Planting and Lighting Plan - Building F + Parking
L-4.8	Planting and Lighting Plan - Building G
L-4.9	Planting and Lighting Plan - Building H
L-4.10	Planting and Lighting Plan - Building J
L-4.11	Planting and Lighting Plan - Retention Pond
L-5.0	Plant List and Details

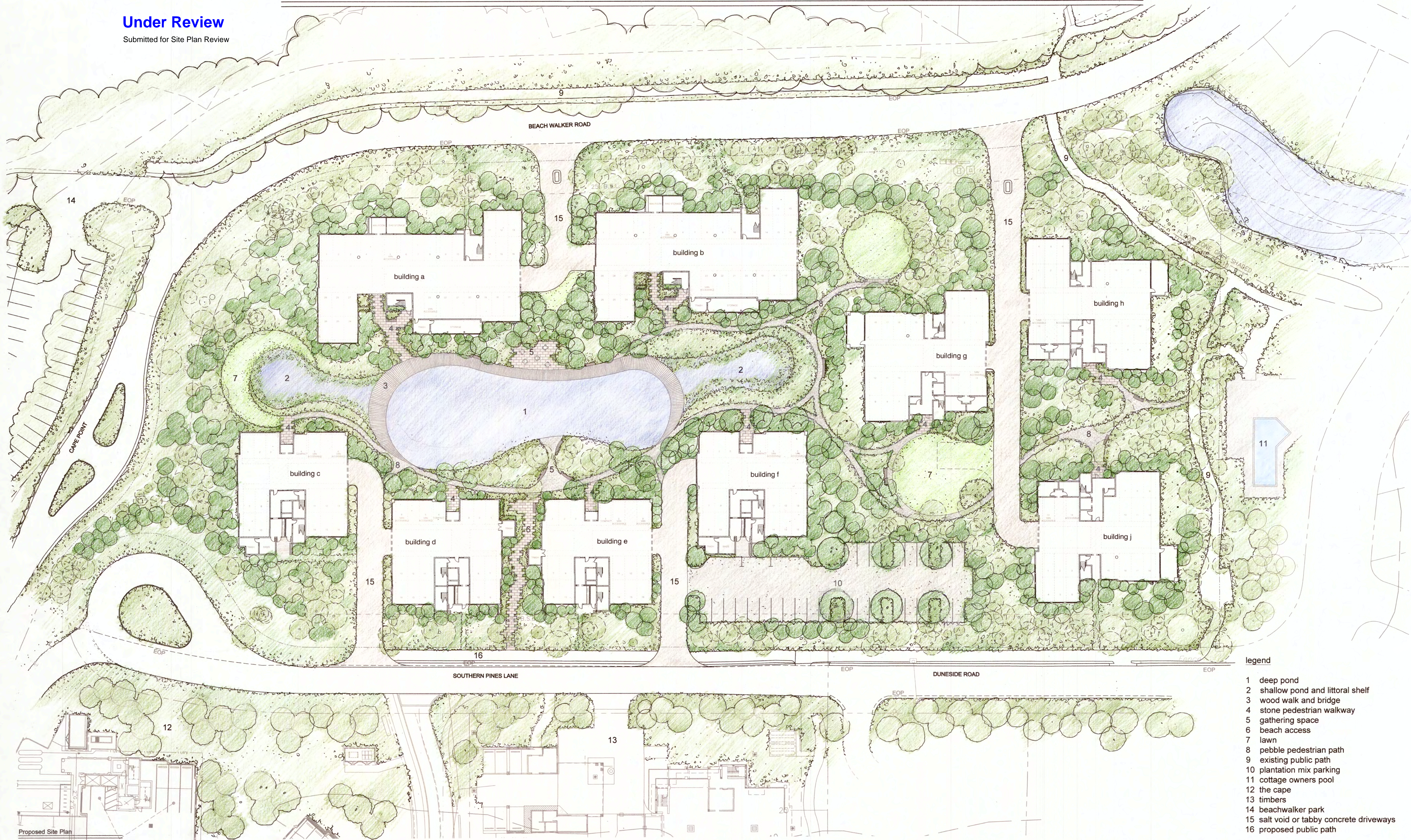
Cover





# Under Review

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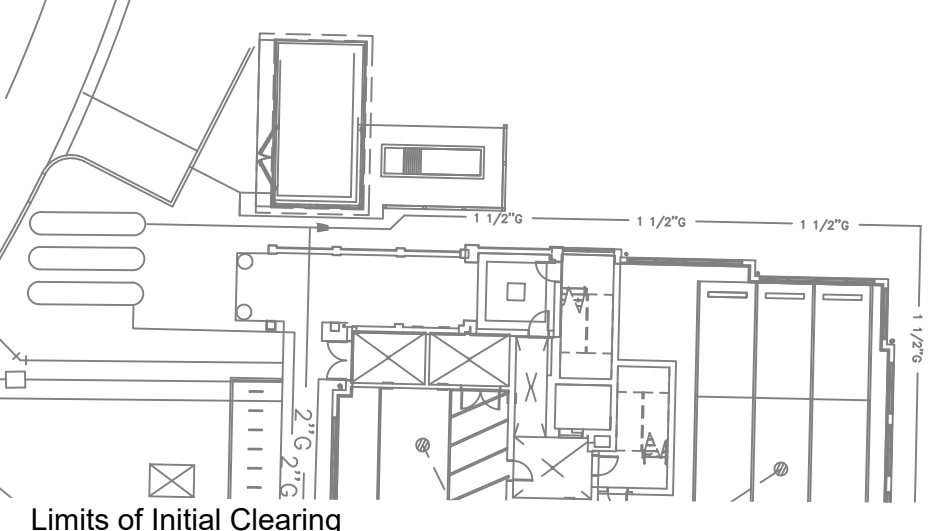
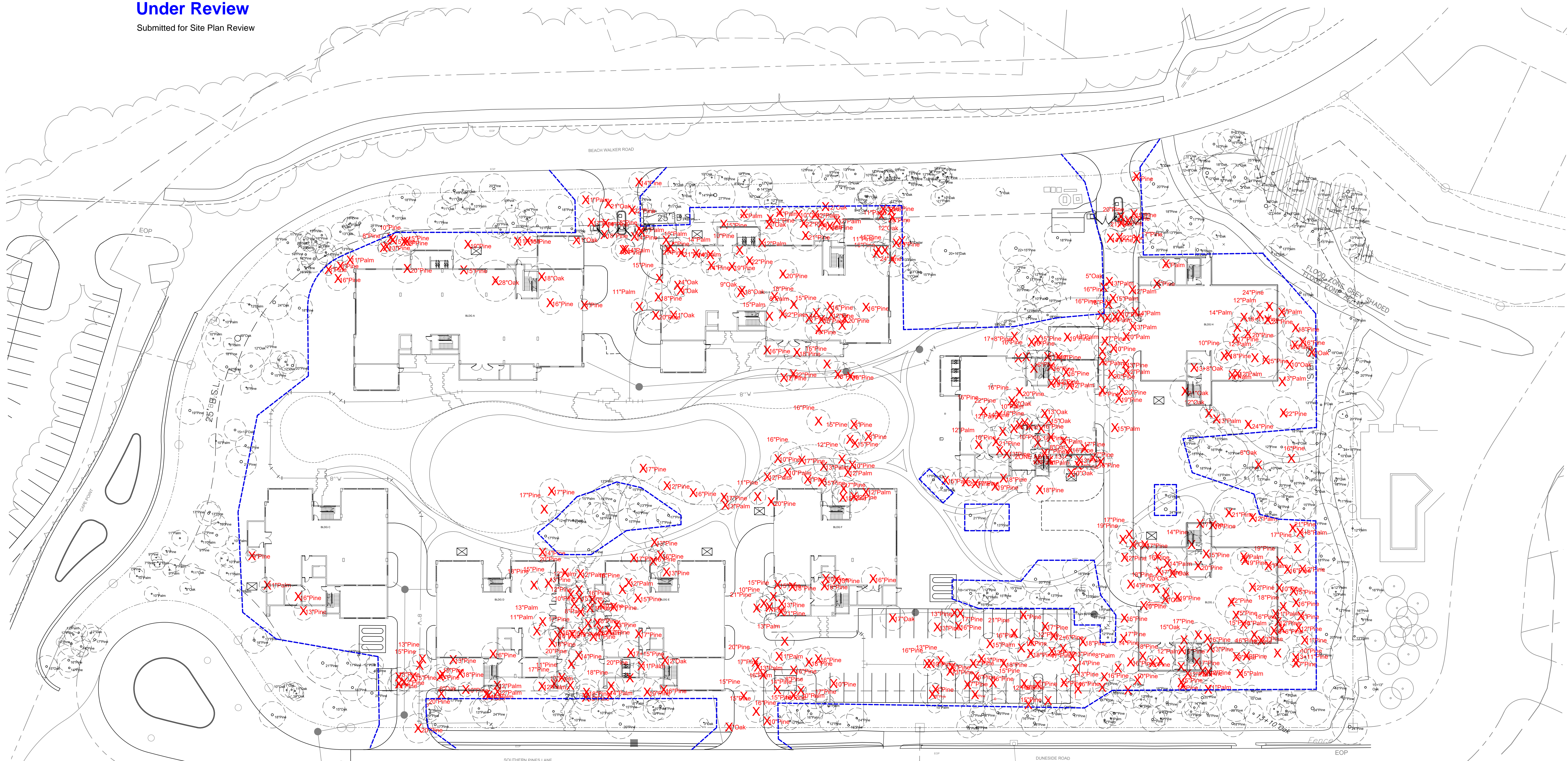


- legend
- 1 deep pond
  - 2 shallow pond and littoral shelf
  - 3 wood walk and bridge
  - 4 stone pedestrian walkway
  - 5 gathering space
  - 6 beach access
  - 7 lawn
  - 8 pebble pedestrian path
  - 9 existing public path
  - 10 plantation mix parking
  - 11 cottage owners pool
  - 12 the cape
  - 13 timbers
  - 14 beachwalker park
  - 15 salt void or tabby concrete driveways
  - 16 proposed public path



# Under Review

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### Tree Analysis Chart

Formula #1 (1 tree per 1,000 sq. ft.)

Highland Lot Area	292,593 s.f.
Trees Required to Remain:	292.6
Existing Trees to Remain:	375
Oaks	79
Palms	77
Cedars	1
Pines	217
Magnolia	1

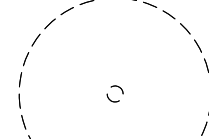
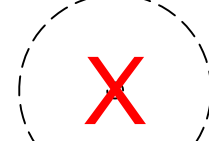

### Tree Analysis Chart

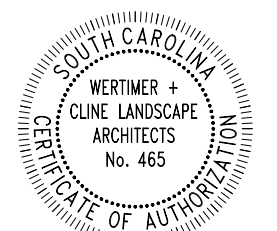
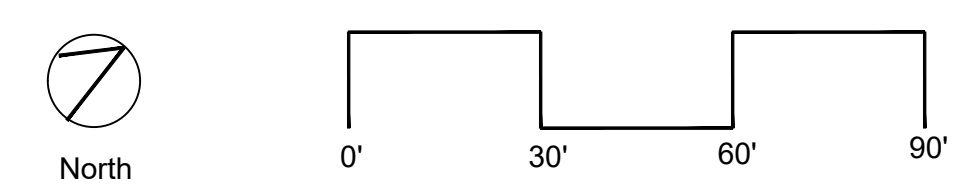
Formula #2 (70% of existing to remain)

Total # Trees on Site	821
# Existing Trees Required to Remain	574.7
Existing Trees Remaining	375
% Existing Trees Remaining	45.67%

Note: Planting Plan at final review will reflect required mitigation.

### Legend

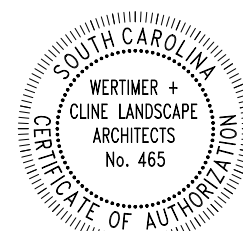
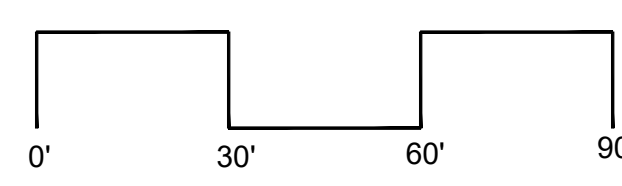
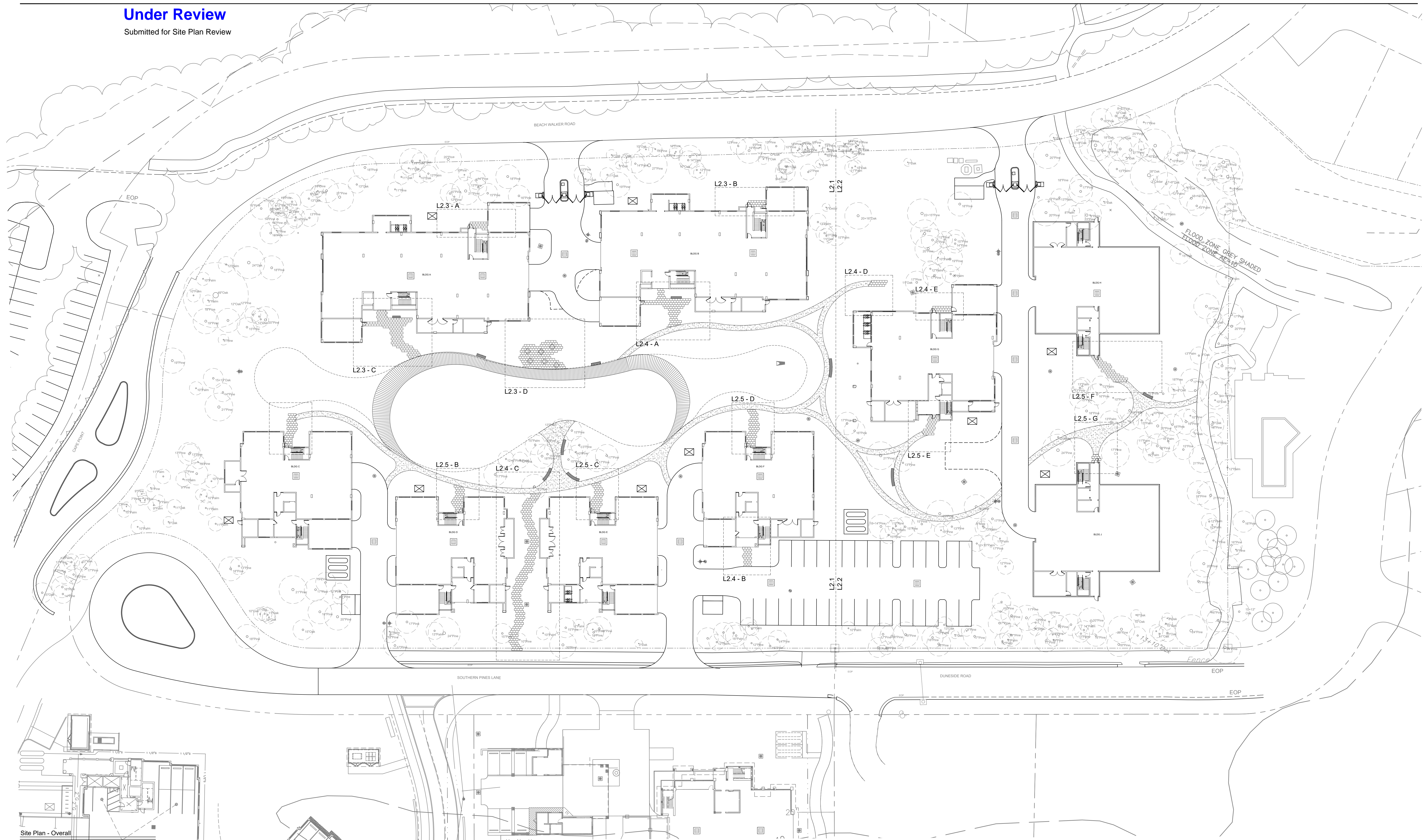
-  existing tree to remain
-  existing tree to be removed
-  extents of initial clearing





# Under Review

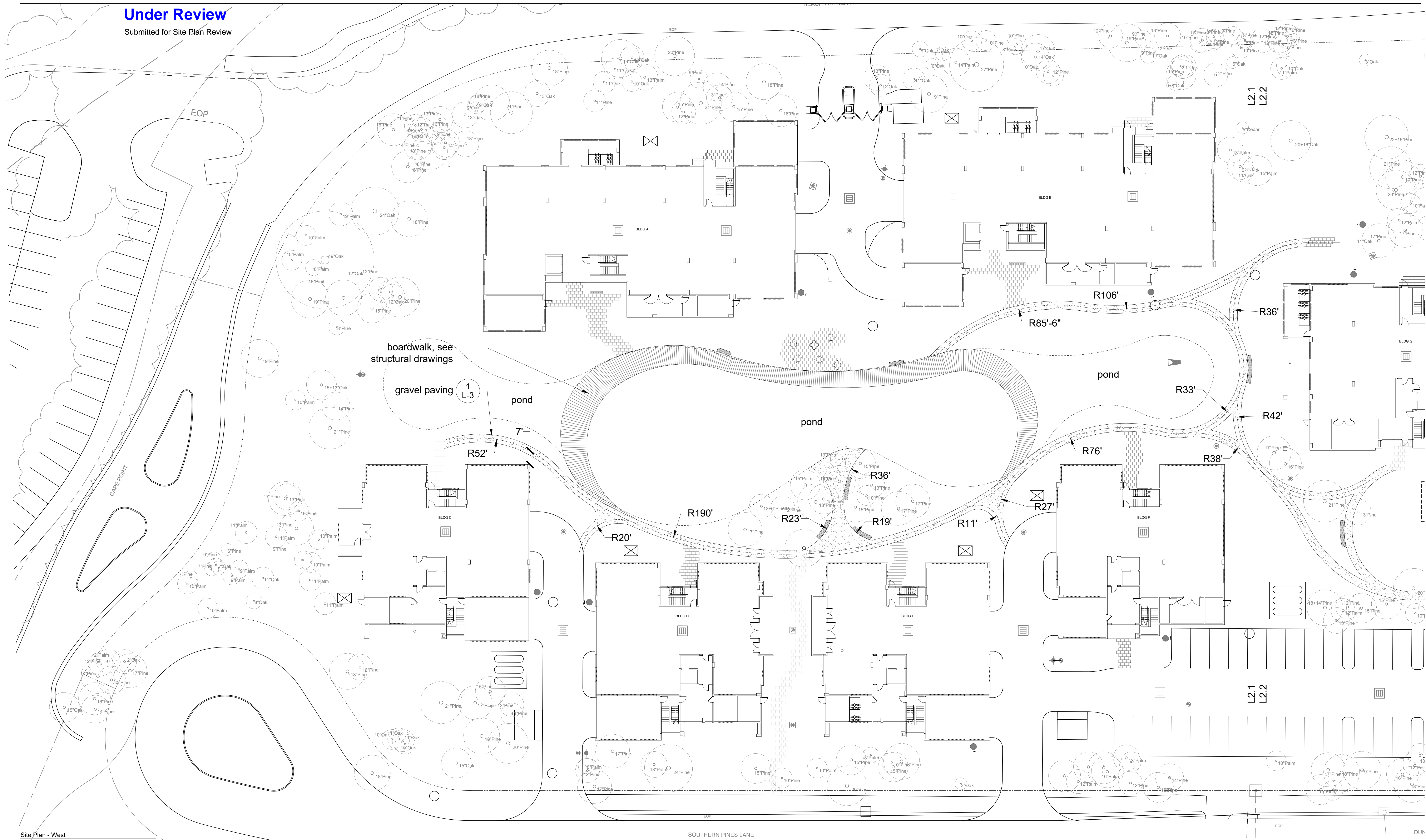
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**Under Review**

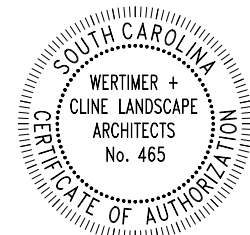
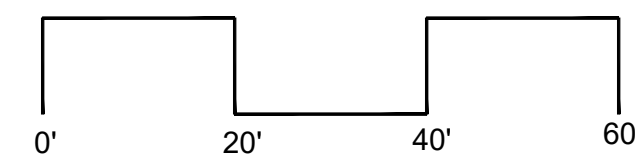
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Site Plan - West

SOUTHERN PINES LANE

L2.1  
L2.2

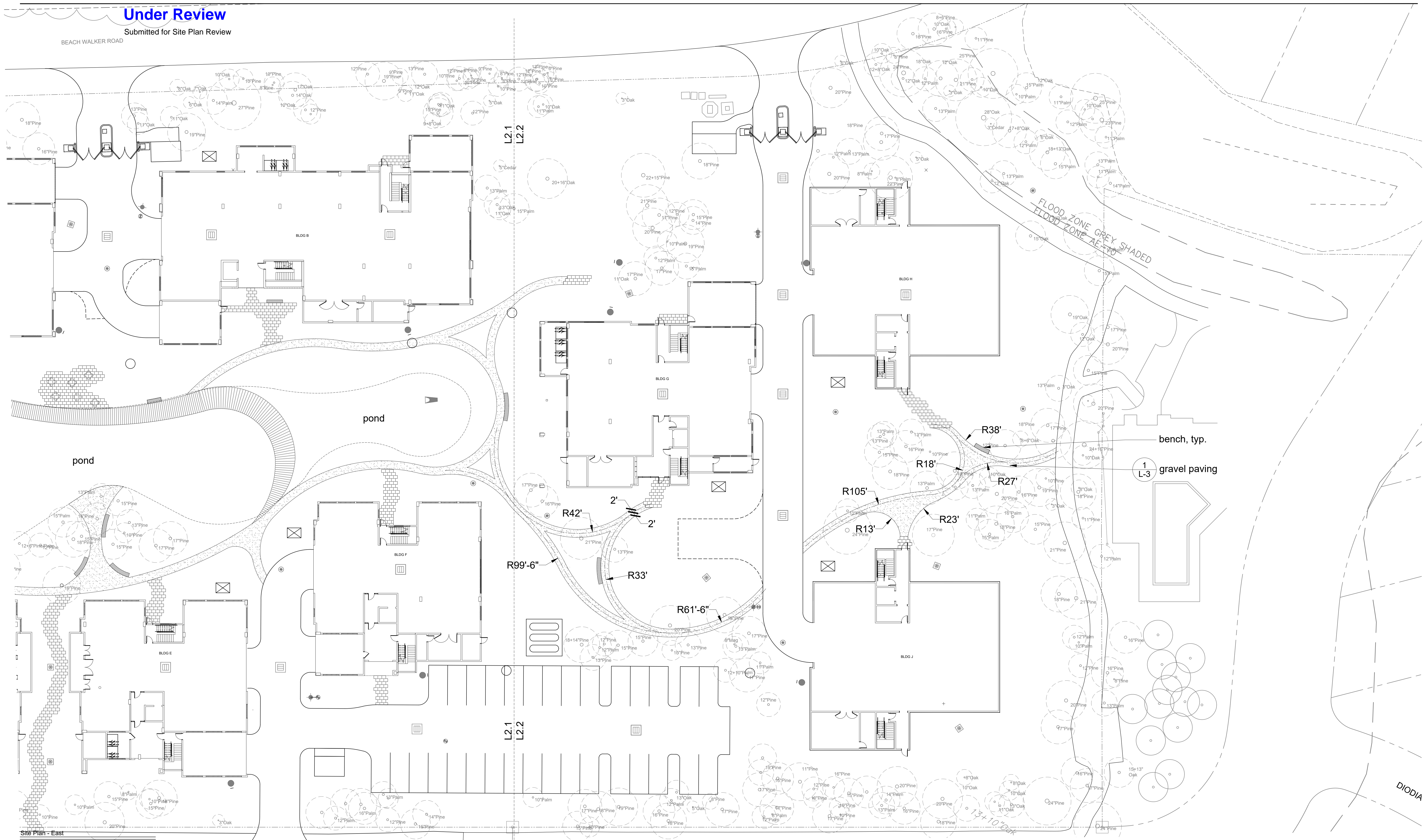




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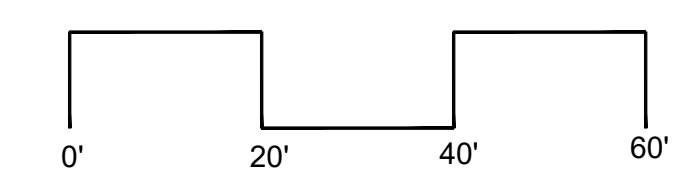
BEACH WALKER ROAD



Site Plan - East

Sheet: L-2.2

Ocean Pines  
Kiawah Island, SC



Date: June 23, 2023  
Rev: September 1, 2023

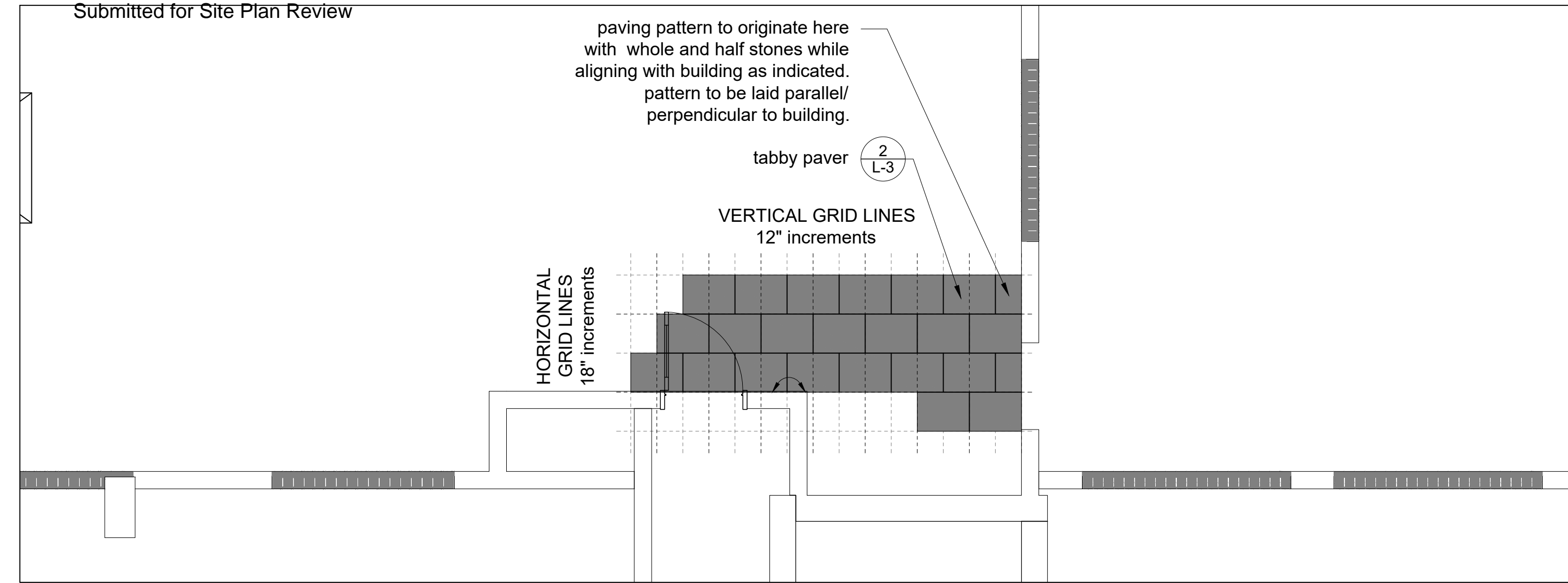
**WERTIMER + CLINE**  
LANDSCAPE ARCHITECTS

171 Church Street, Suite 350  
Charleston, SC 29401  
tel: 843.577.3360  
email: swc@wertimer.com

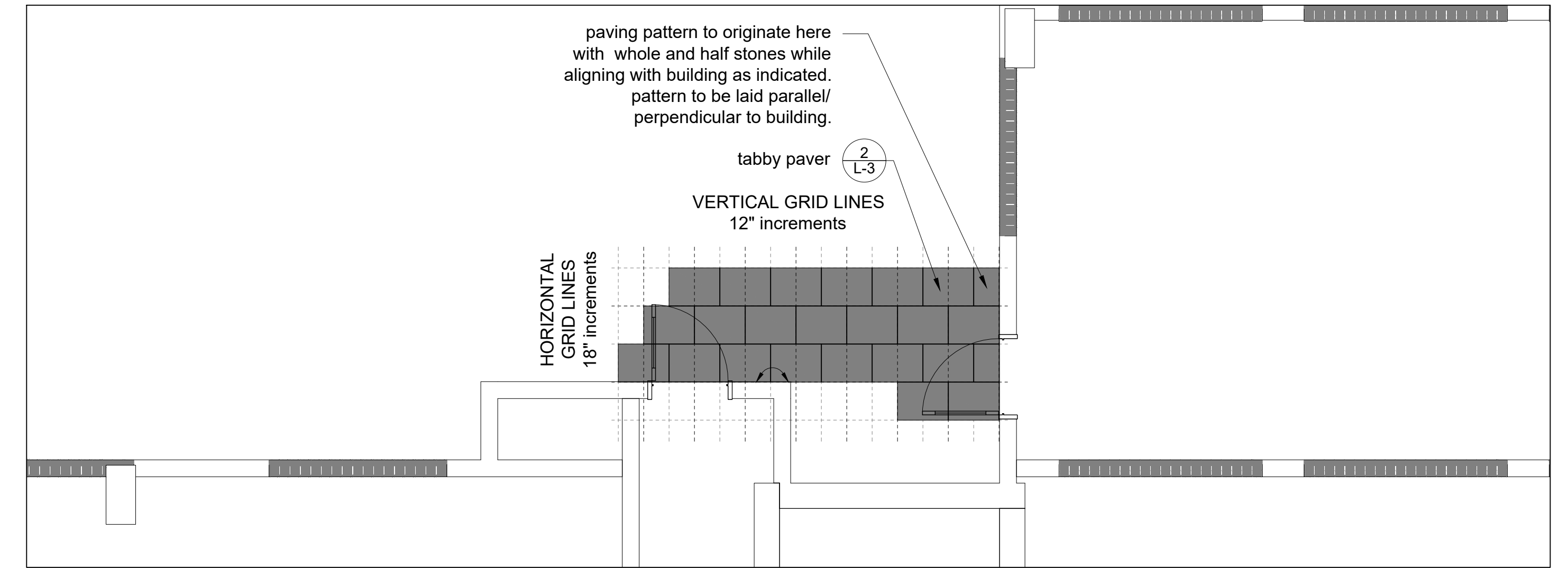


# Under Review

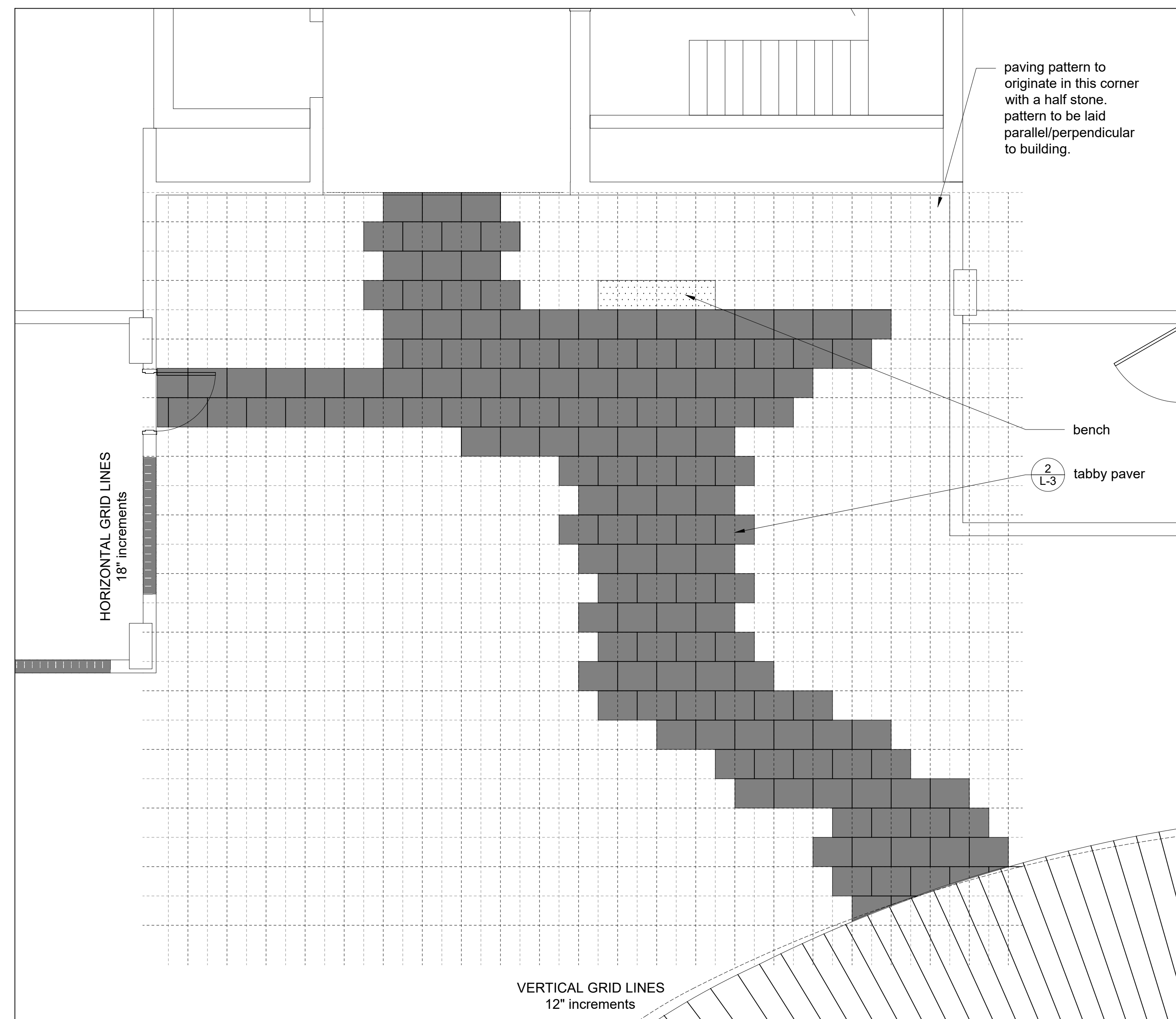
Submitted for Site Plan Review



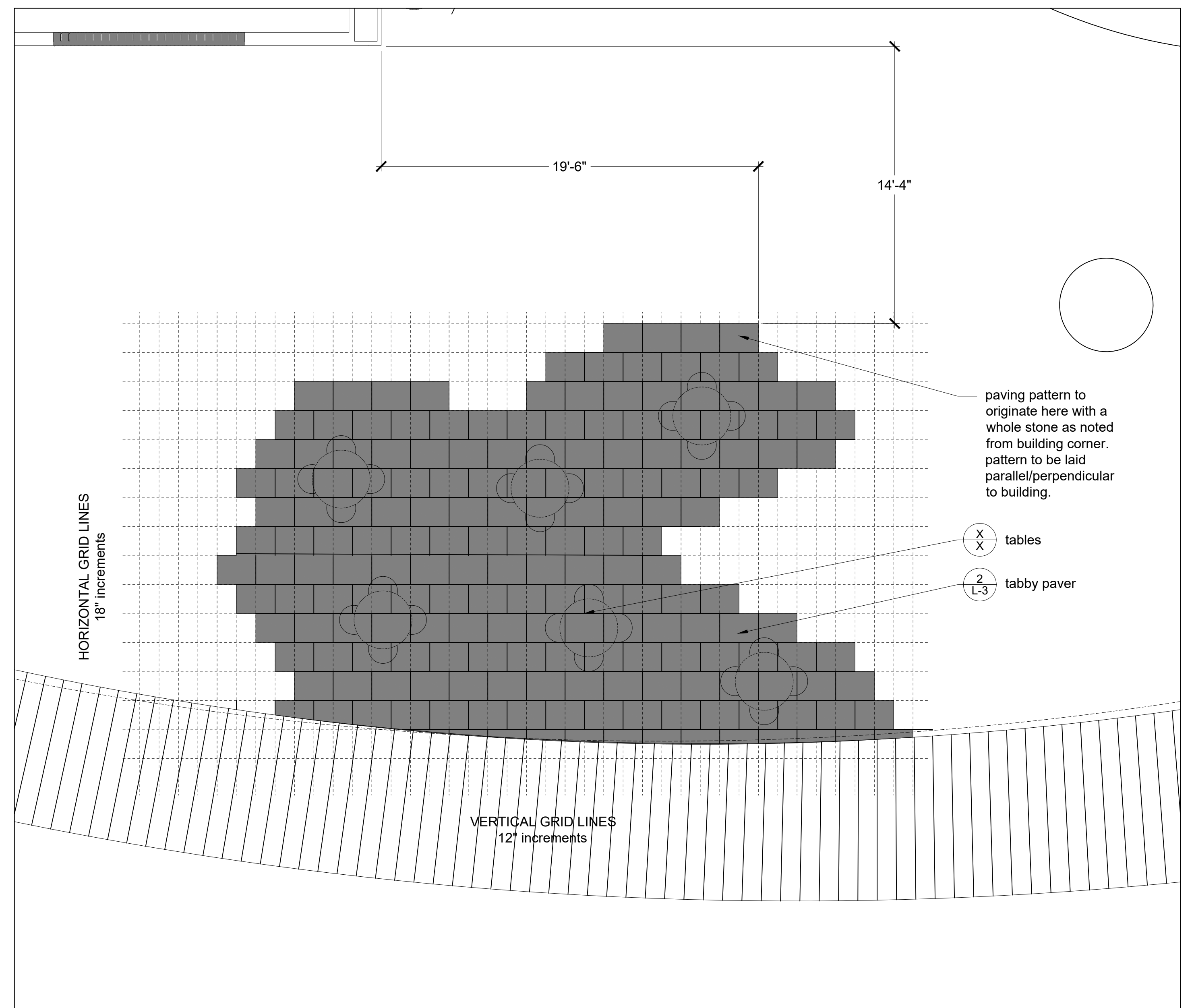
A. Behind Building A



B. Behind Building B

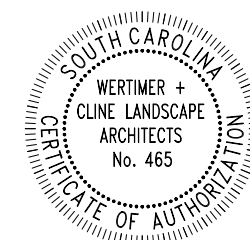
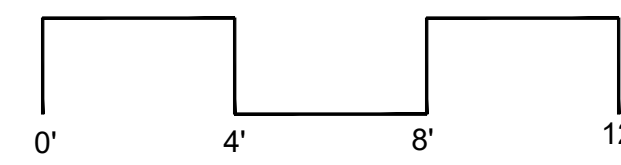


C. Building A (Garden Side)



D. Boardwalk Terrace

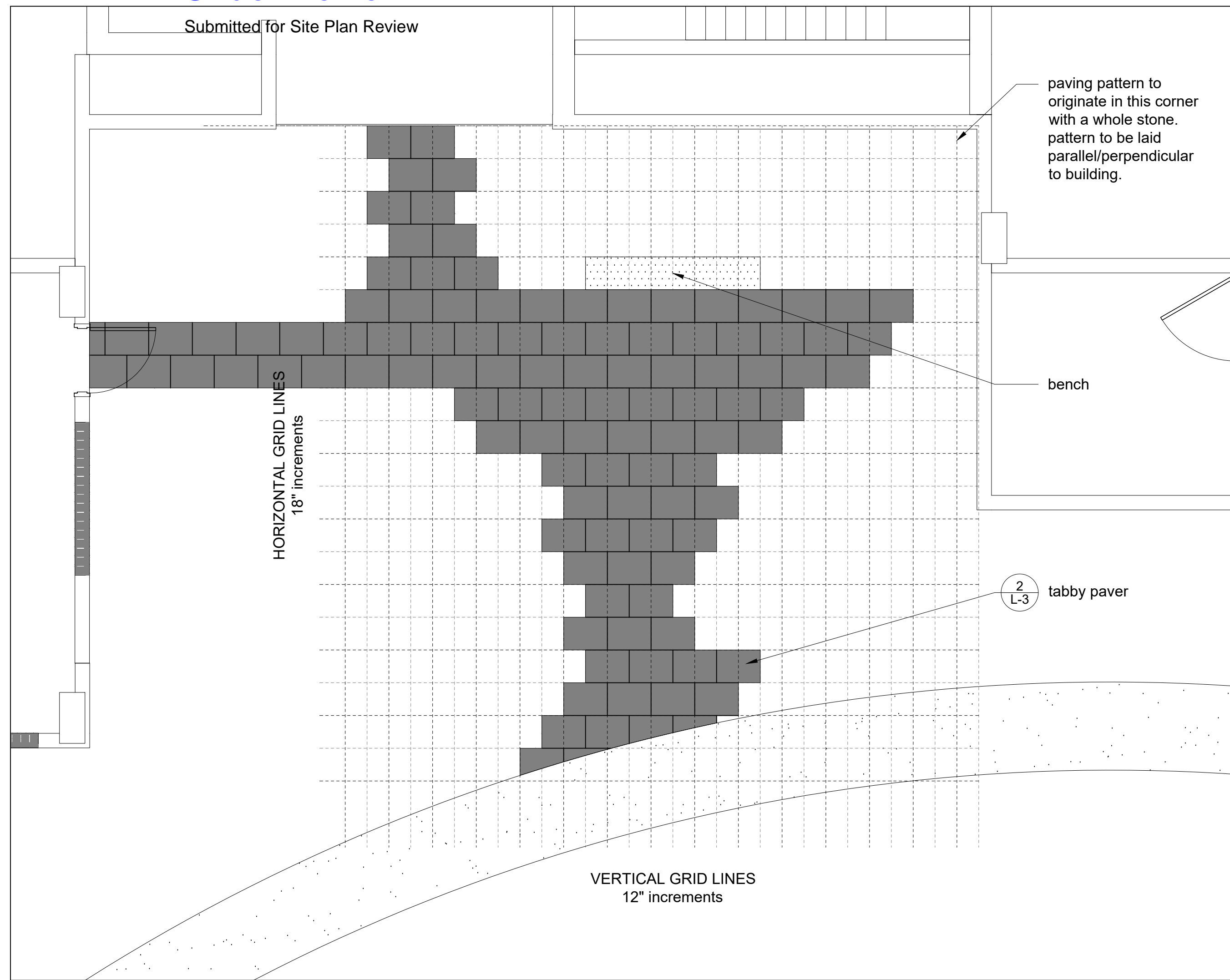
Site Plan Enlargements



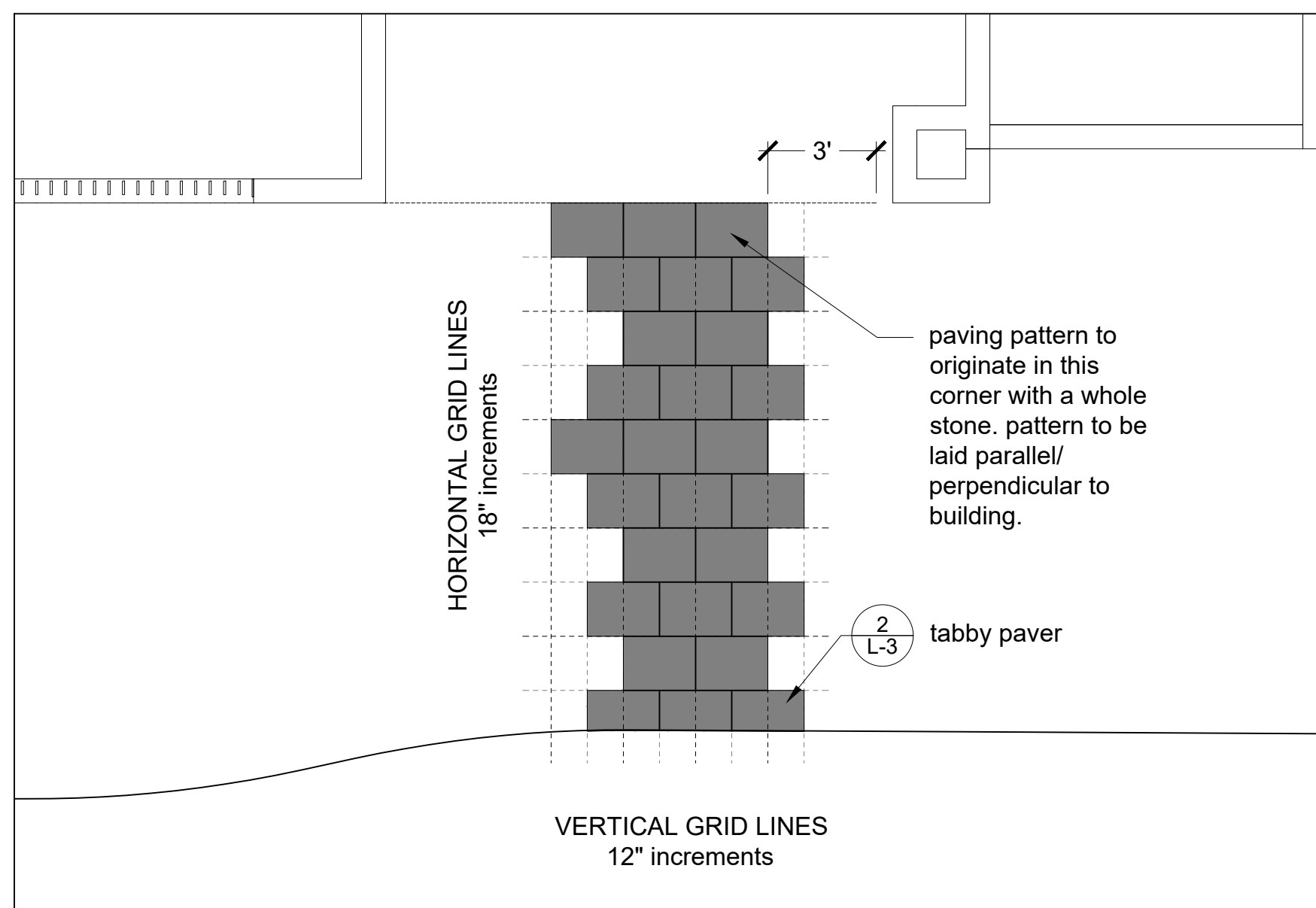


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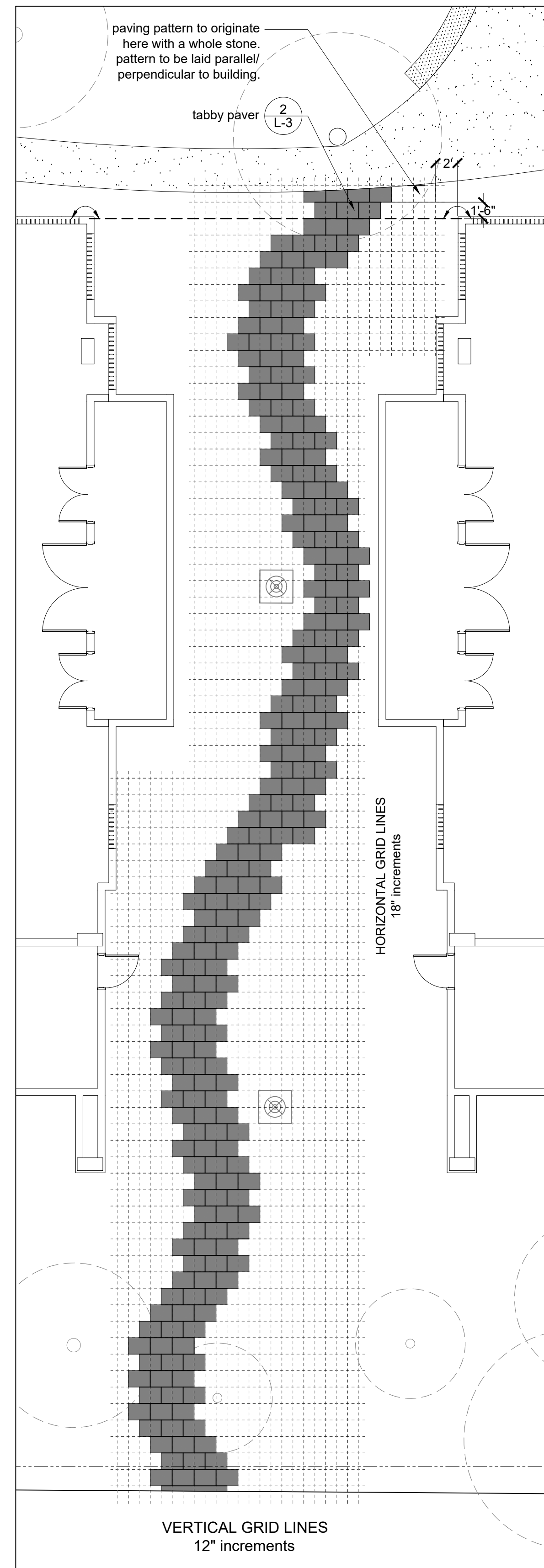
Submitted for Site Plan Review



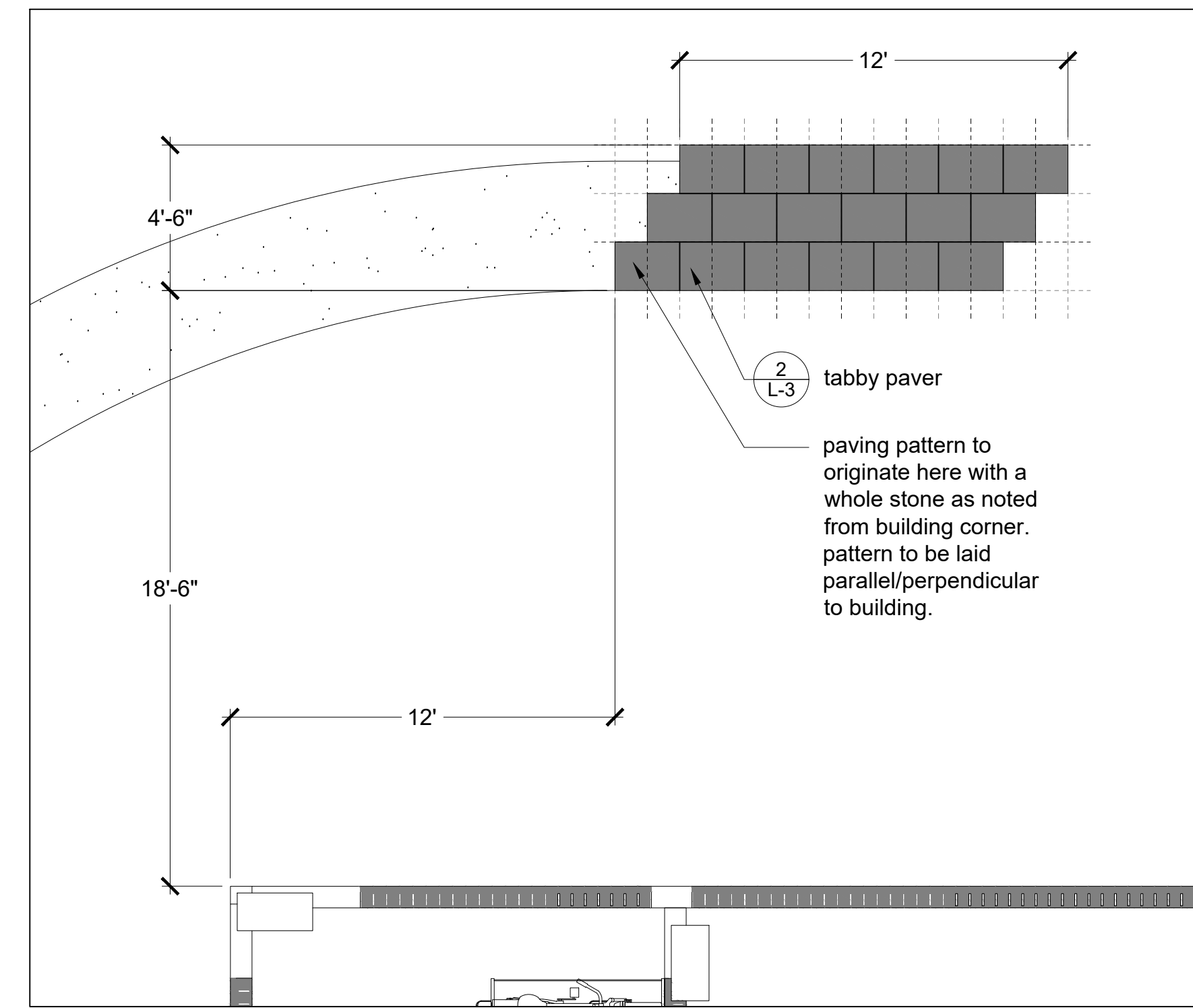
A. Building B (Garden Side)



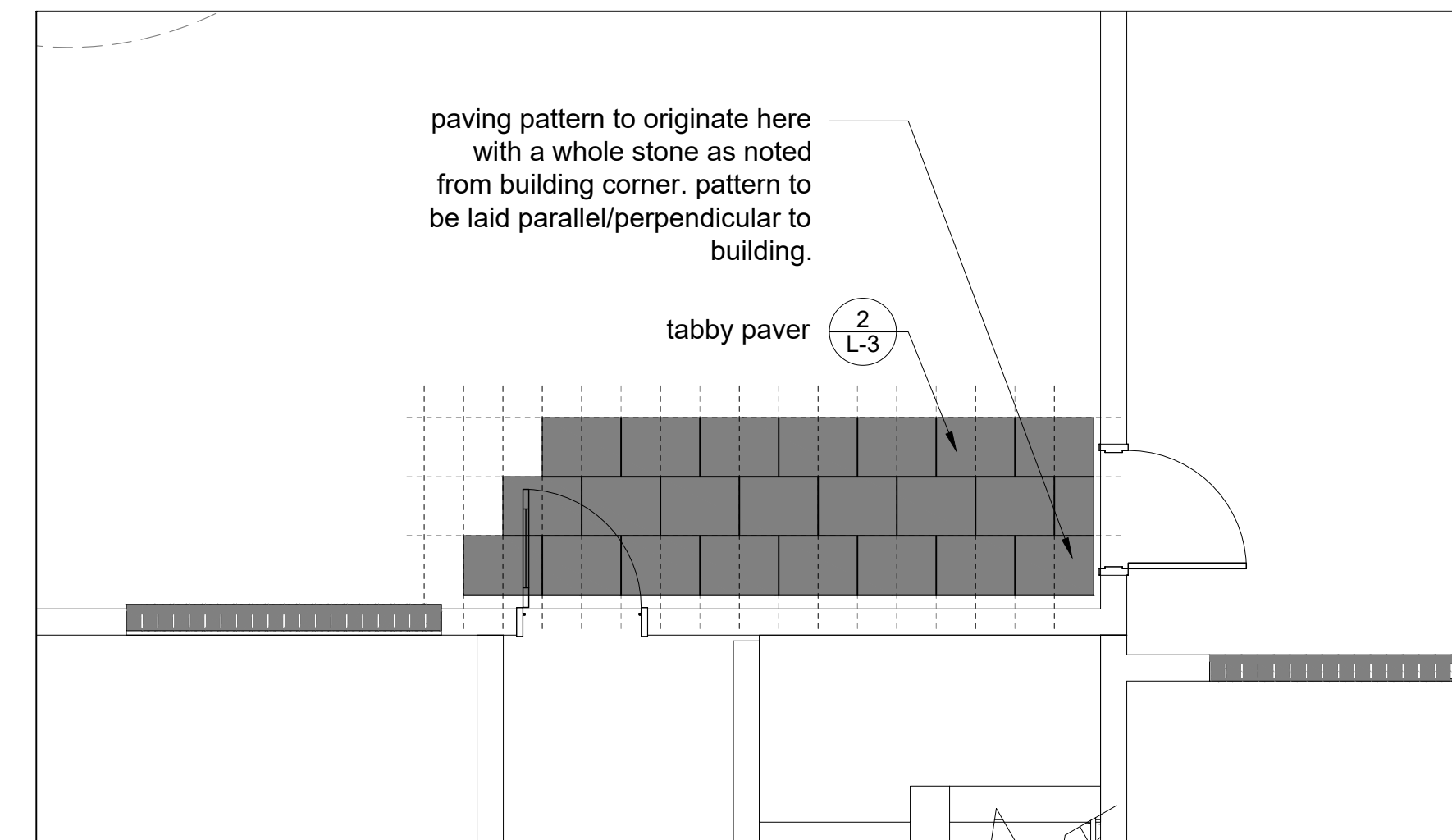
B. Building F (Parking lot side)



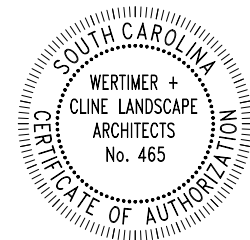
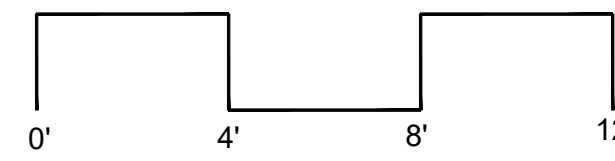
C. Between Building D and E - Scale: 1/8" = 1' - 0"



D. Behind Building G



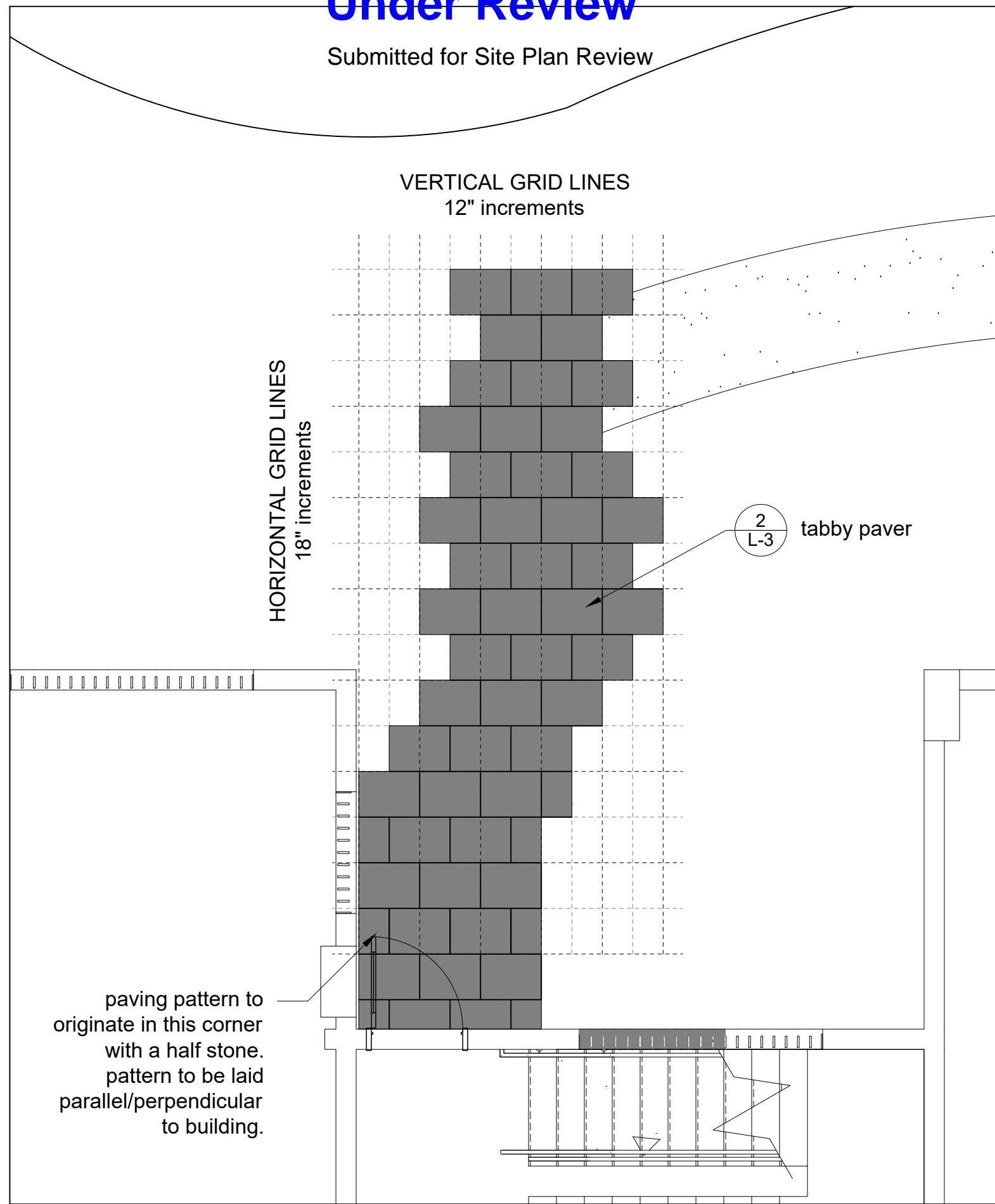
E. Behind Building G



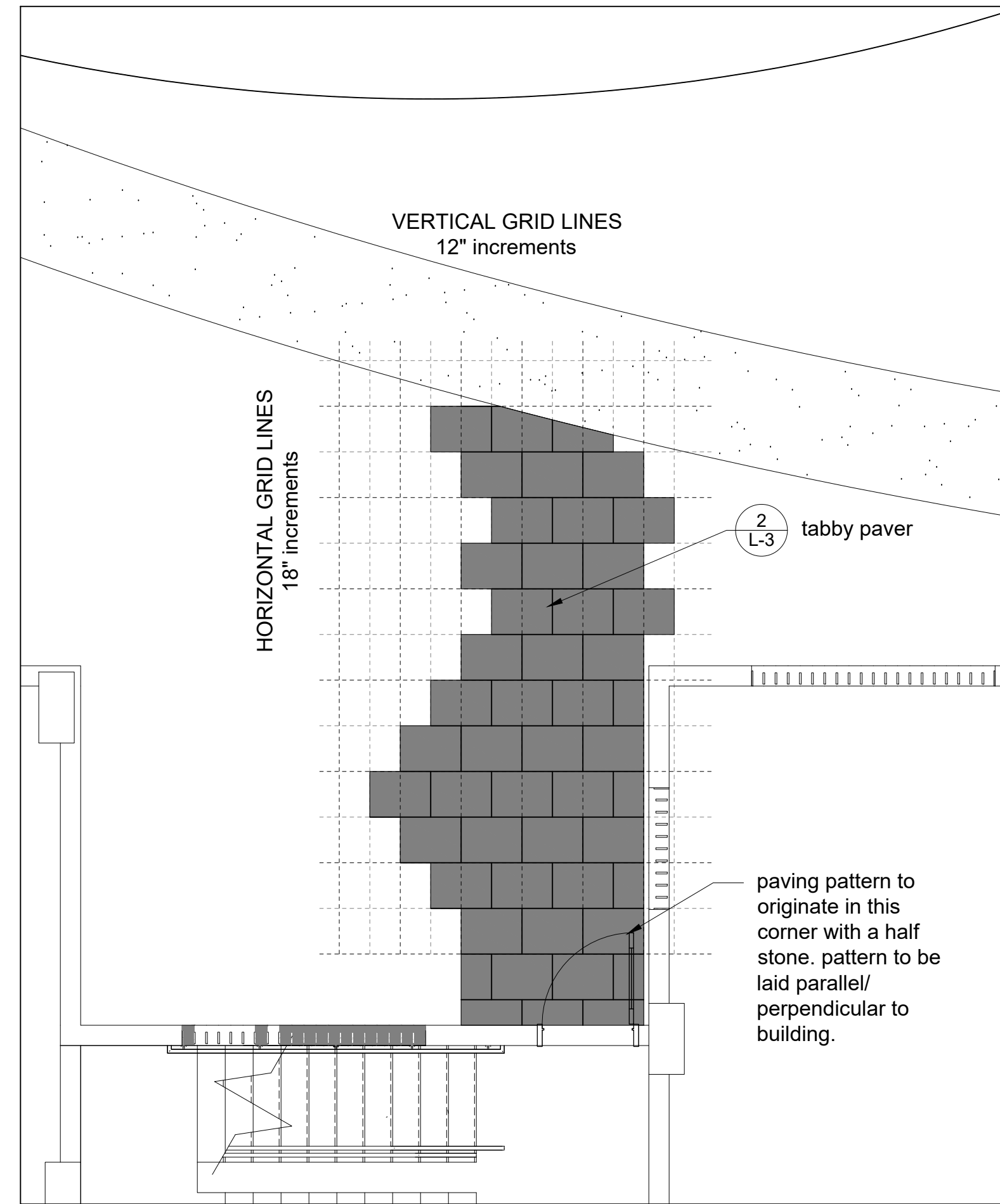


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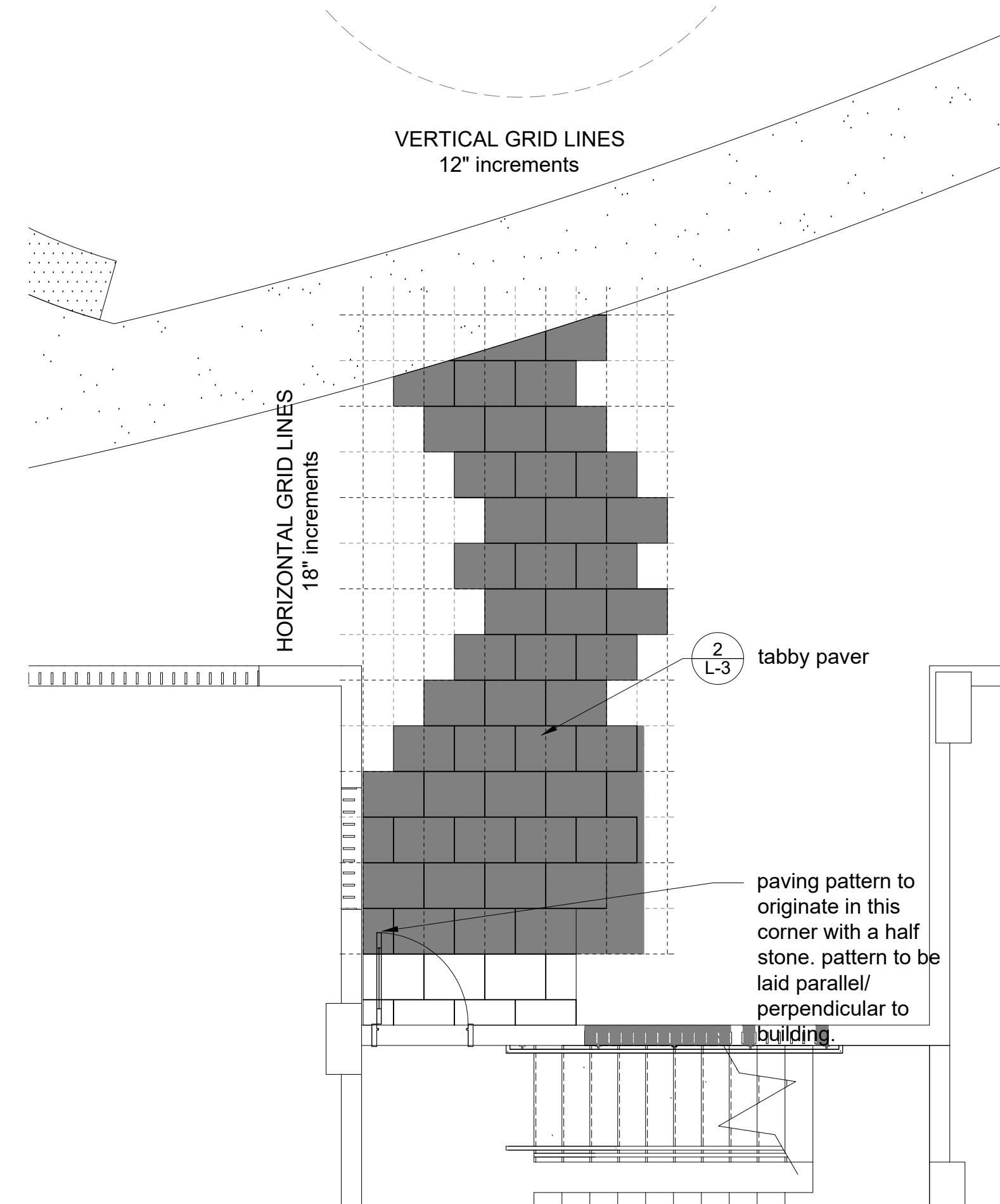
Submitted for Site Plan Review



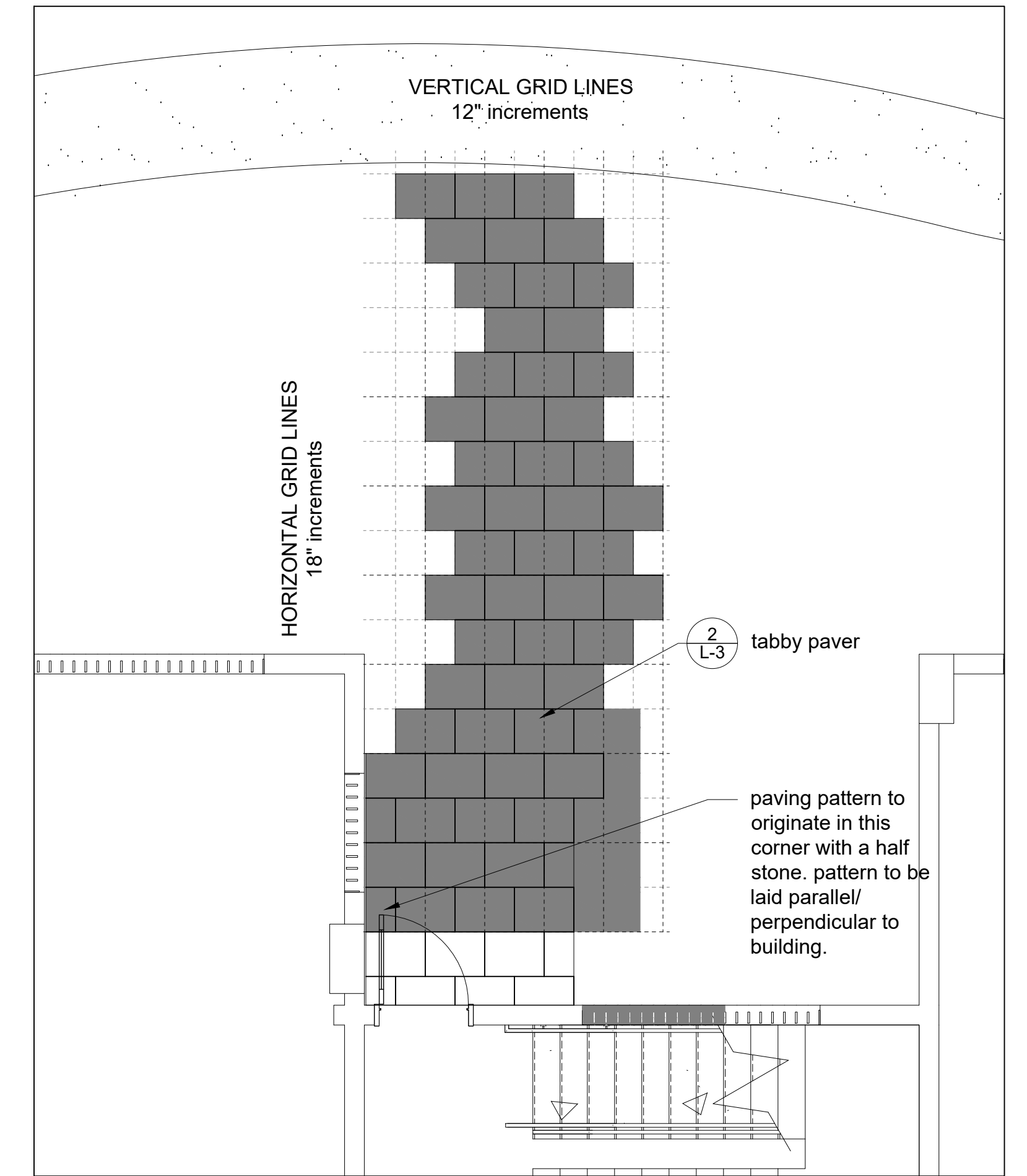
A. Building C (Garden Side)



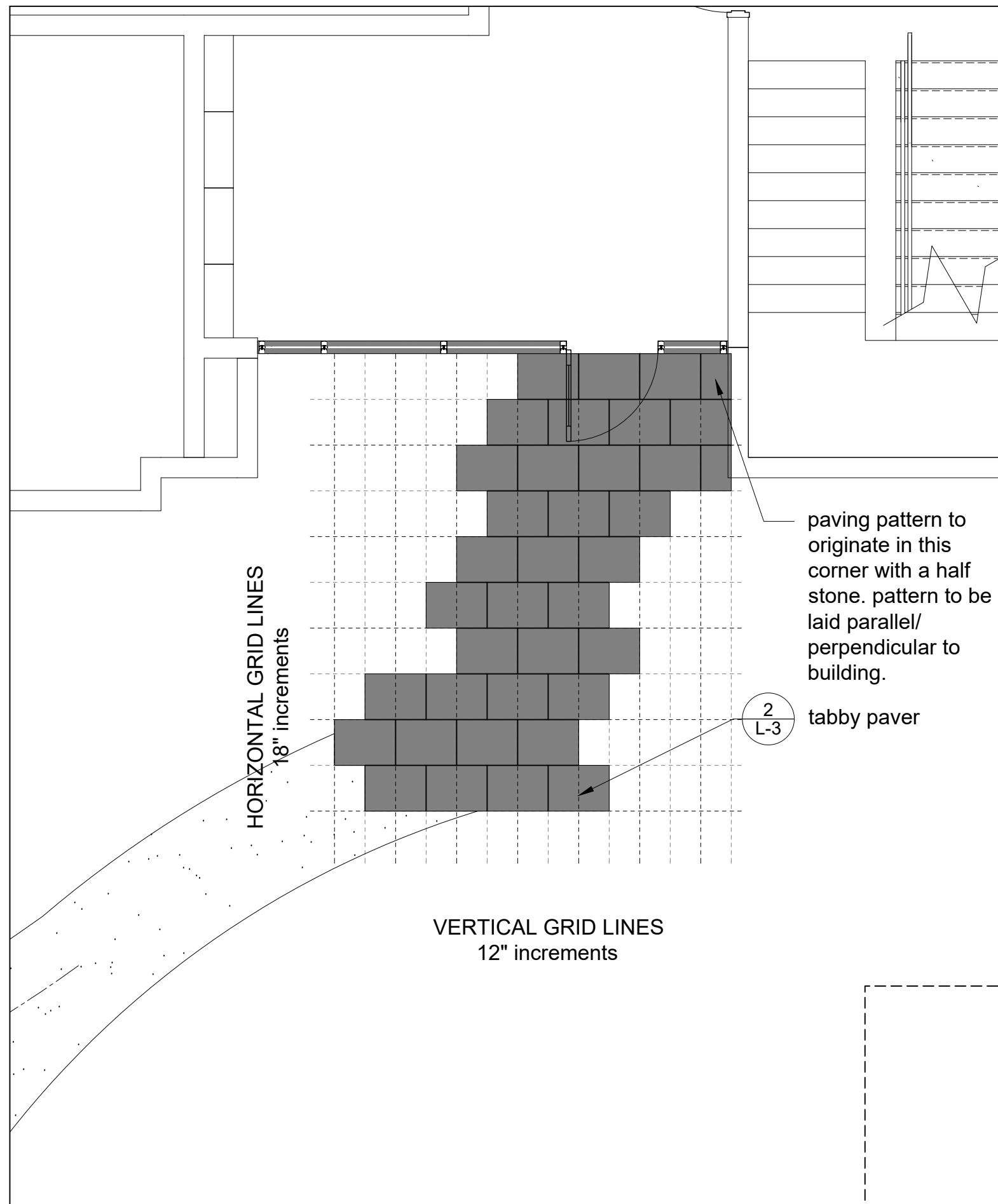
B. Building D (Garden Side)



C. Building E (Garden Side)

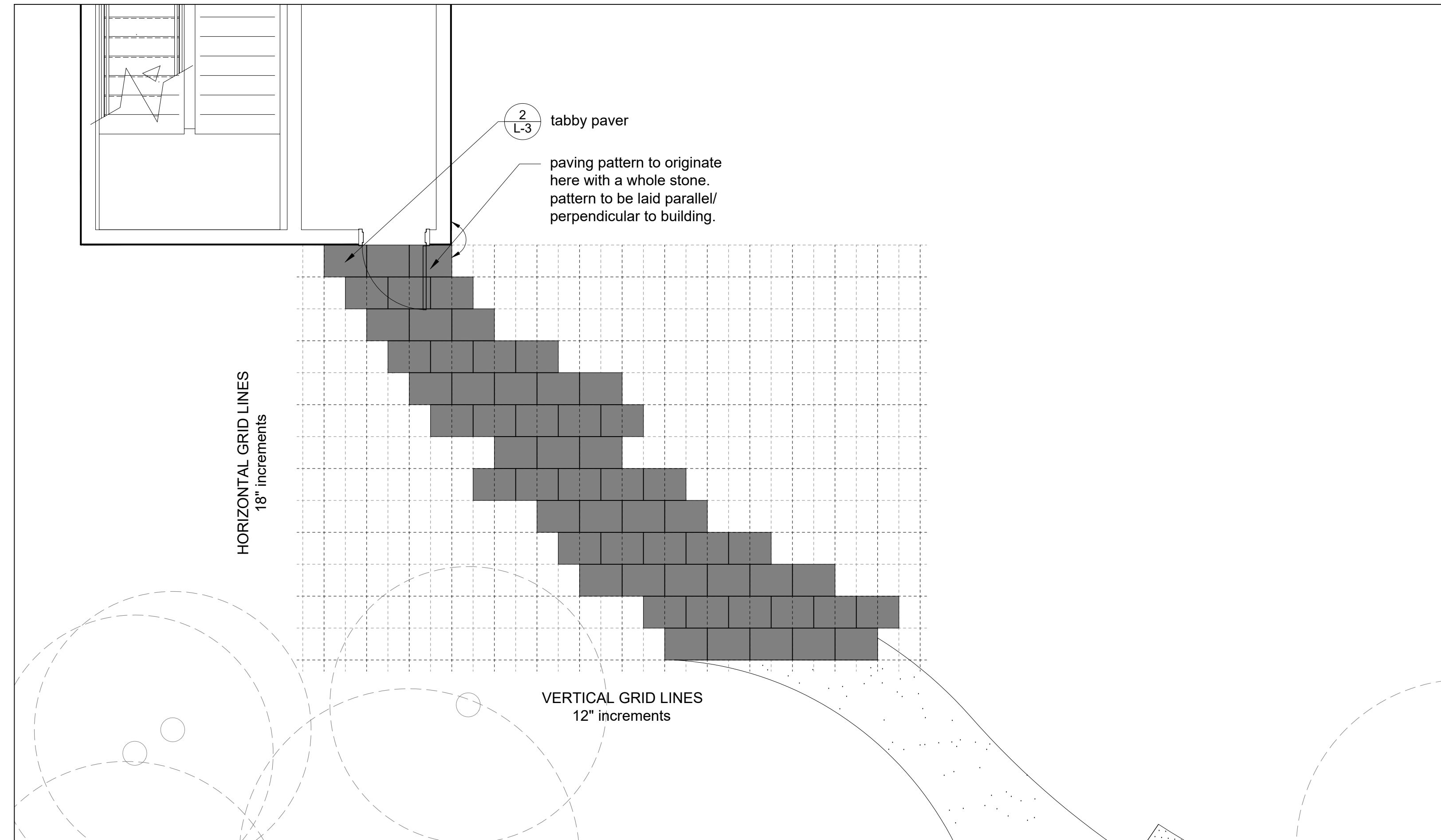


D. Building F (Garden Side)

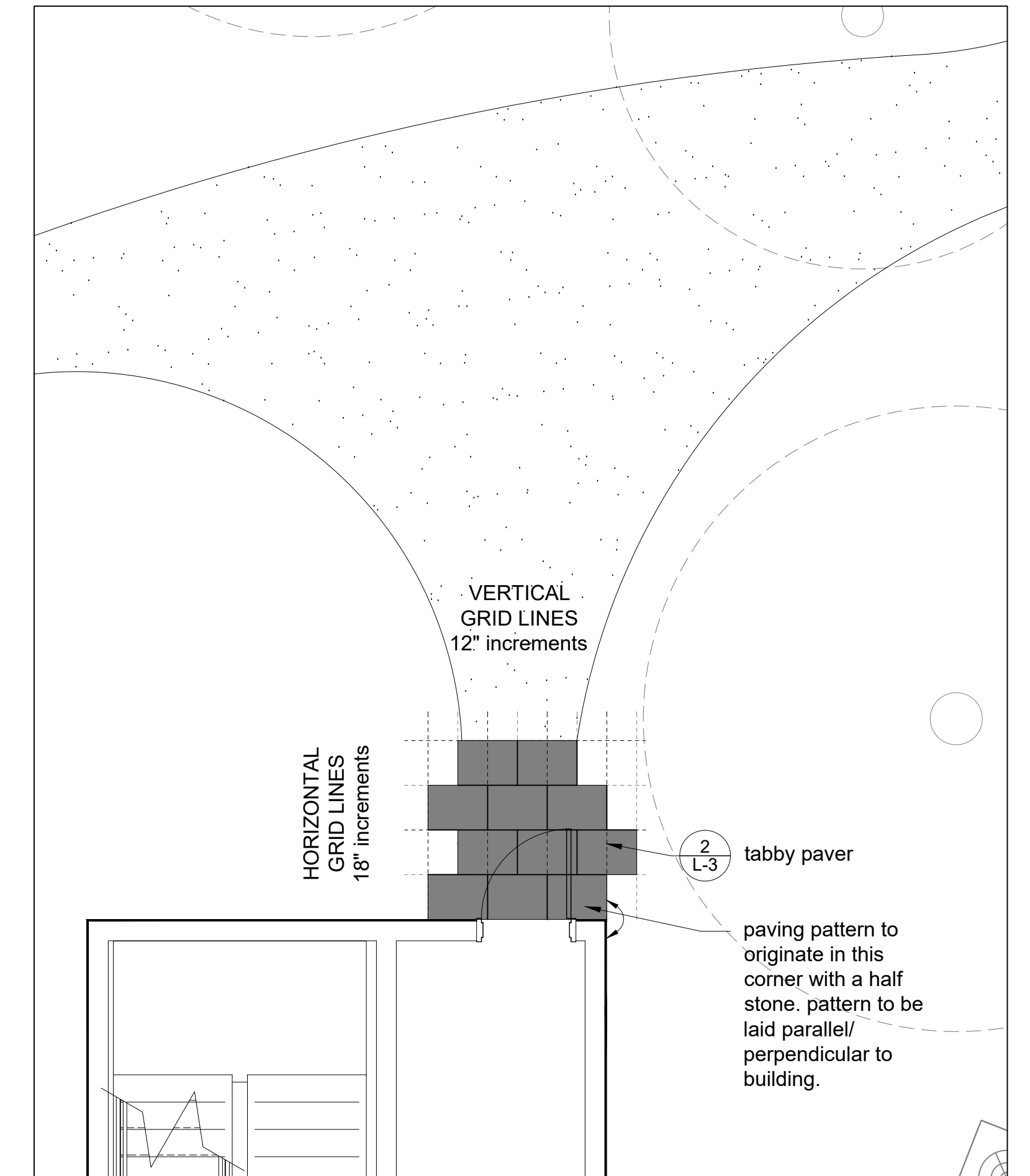


E. Building G (Garden Side)

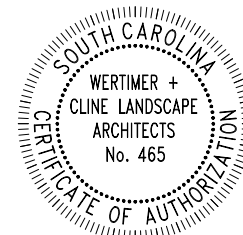
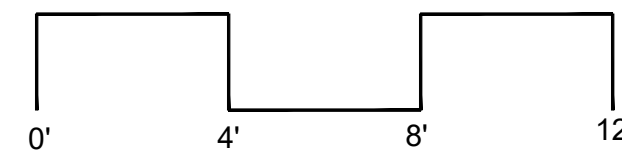
Site Plan Enlargements



F. Building H (Garden Side)



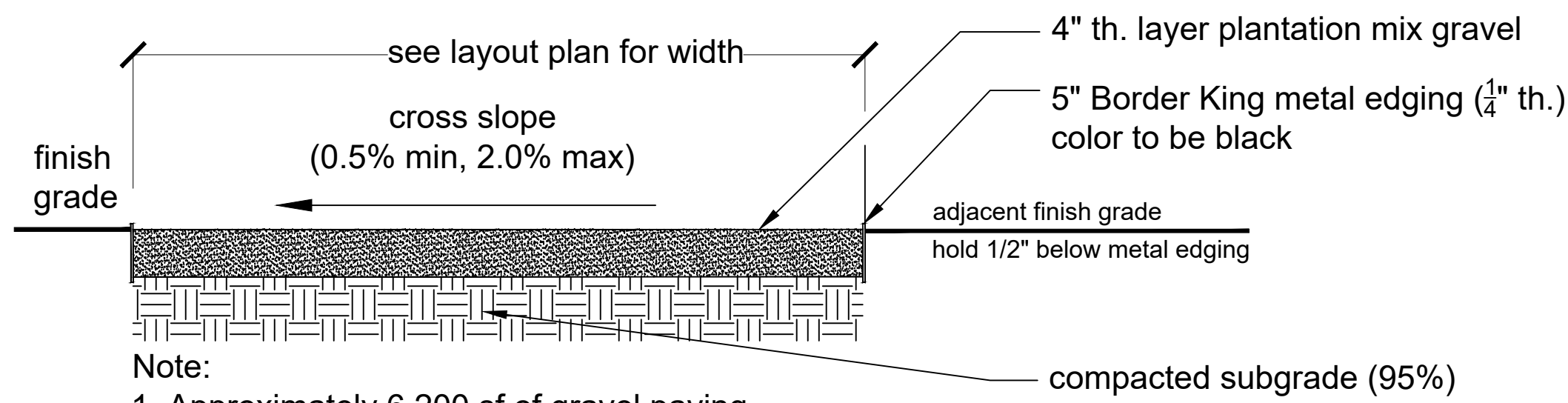
G. Building J (Garden Side)





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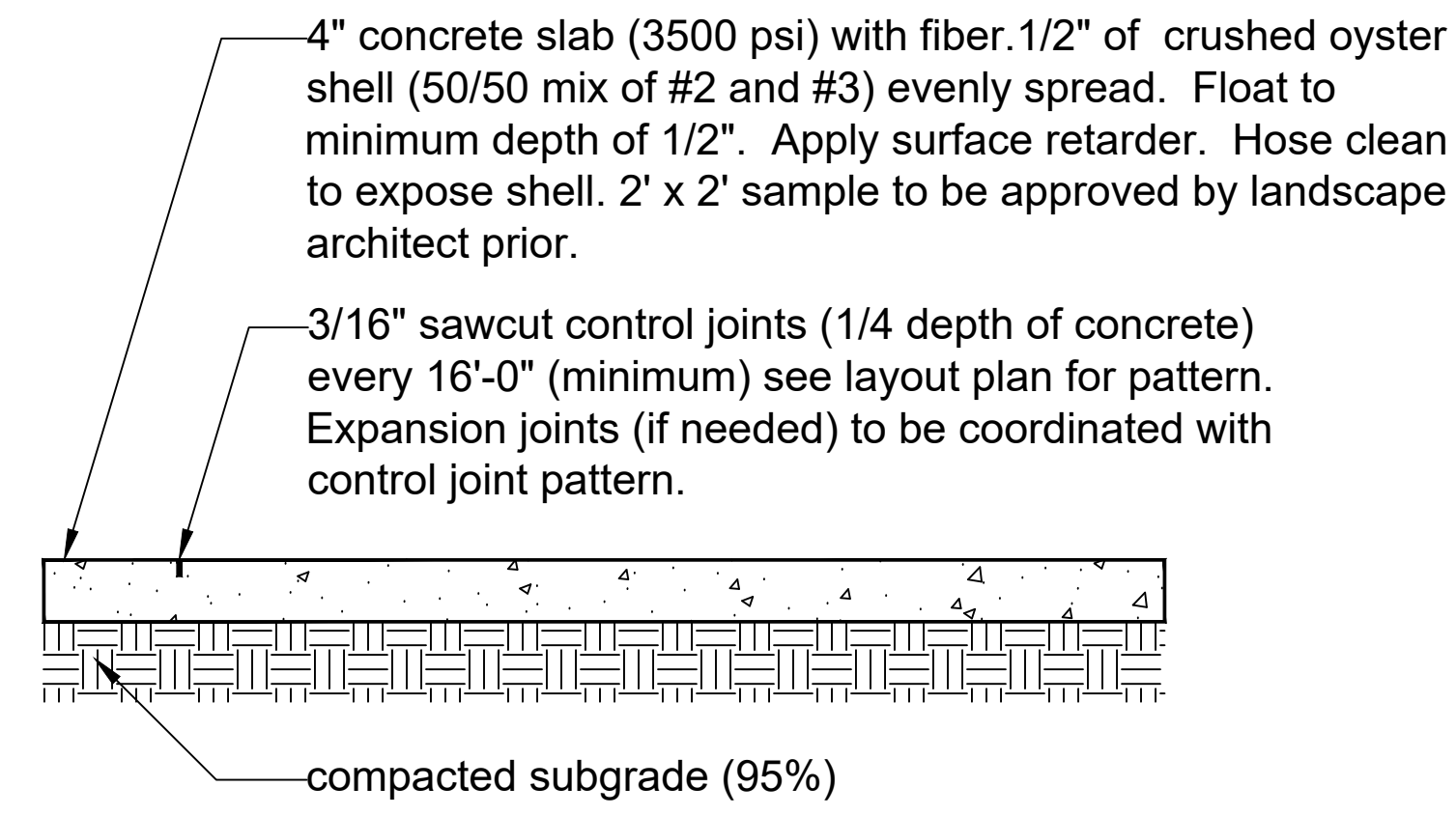
Note:

1. Approximately 6,200 sf of gravel paving - contractor to verify
2. Provide gravel sample for approval prior to installation

### 1 Gravel Paving

L-3 Scale 1" = 1'-0"

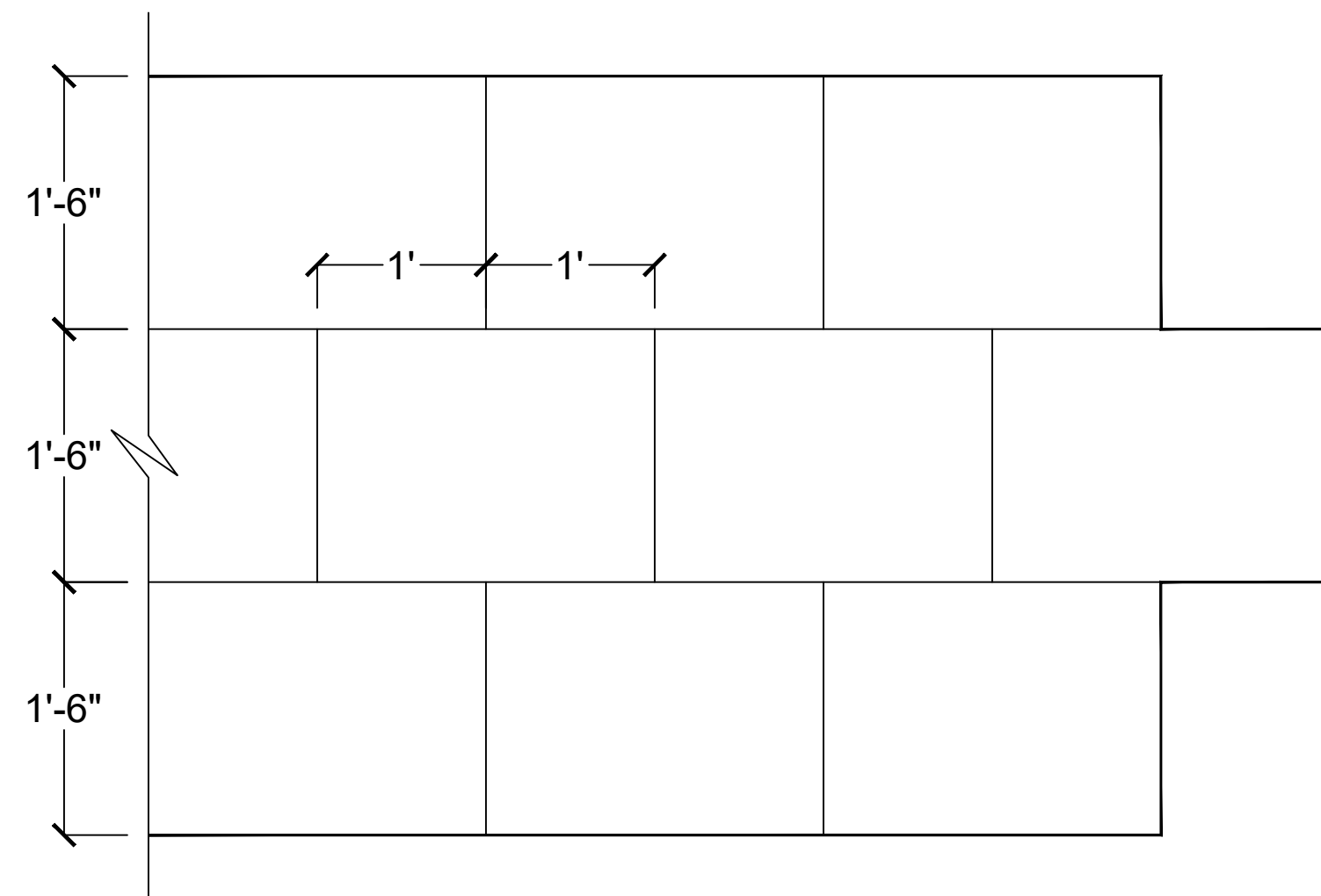
Section



### 3 Tabby Drive Detail

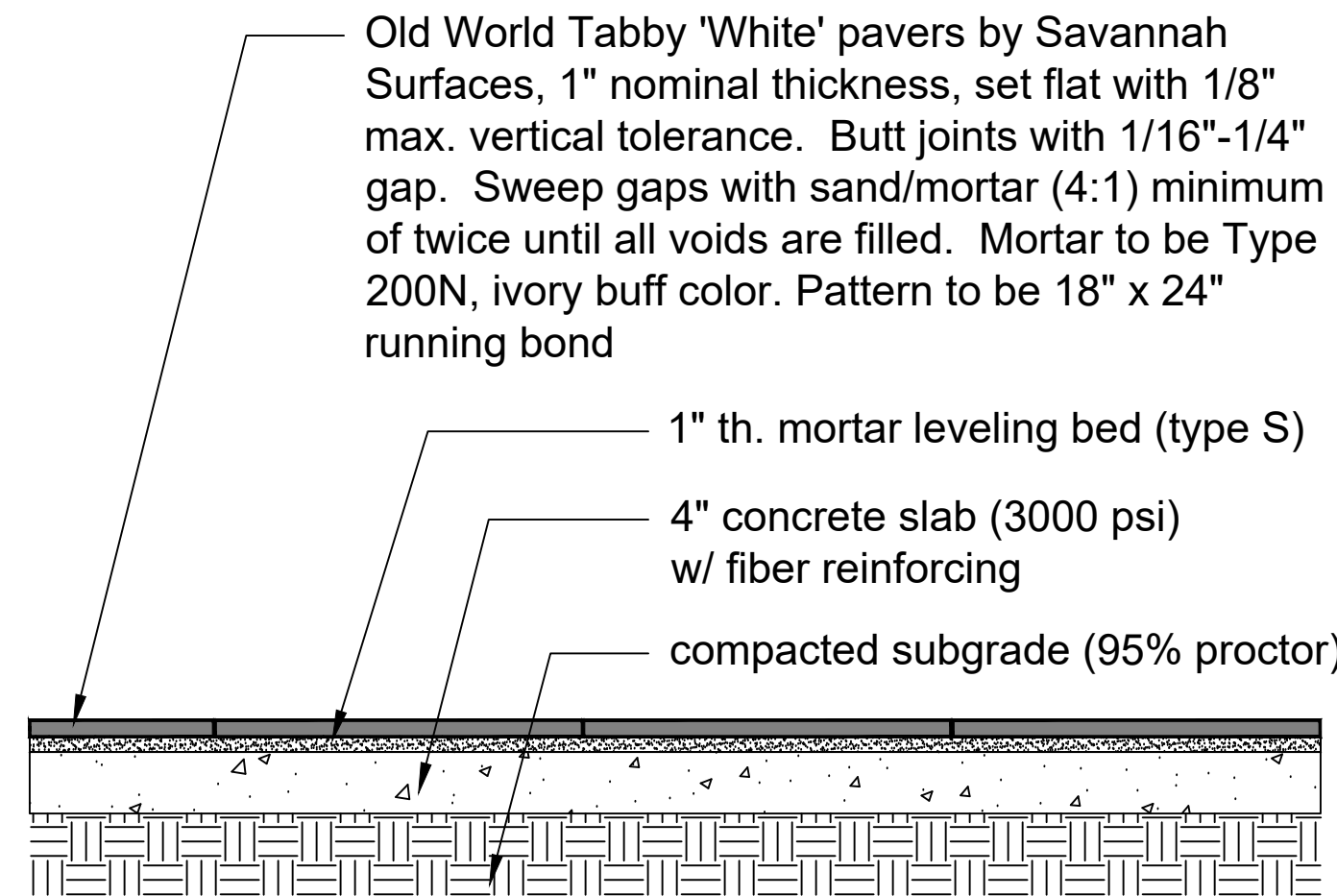
L-3 Scale 1" = 1'-0"

Section



Note:

- All pieces to be whole stones unless paving is abutting a building or boardwalk.
- whole and half stones only when abutting a building
  - partial pieces allowed when abutting boardwalk - avoid small pieces and slivers.



Note:

1. Approximately 3,900 sf of stone paving - contractor to verify
2. Provide stone sample for approval prior to installation

### 2 Tabby Pavers Paving

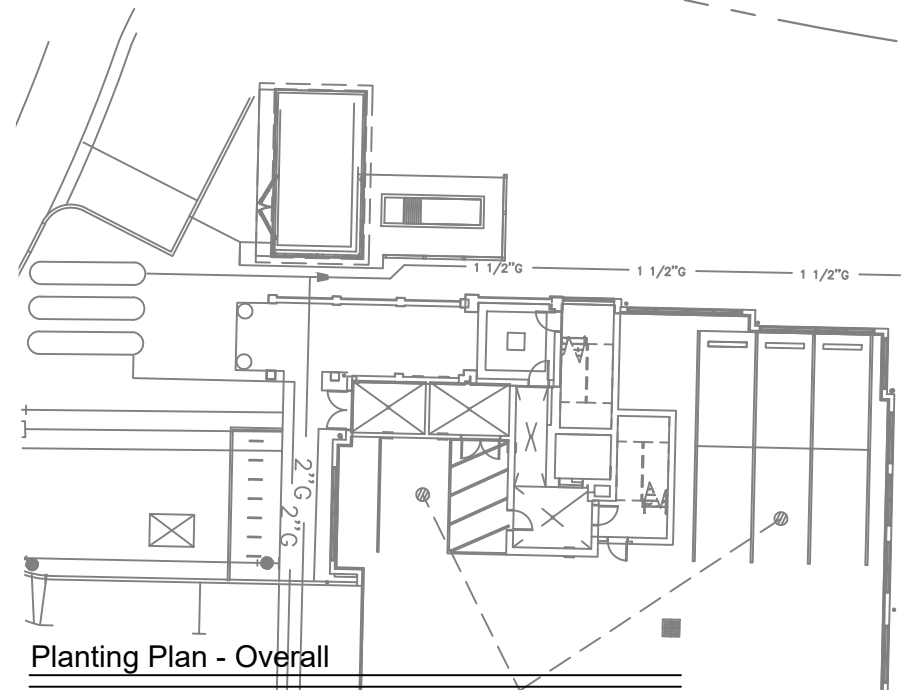
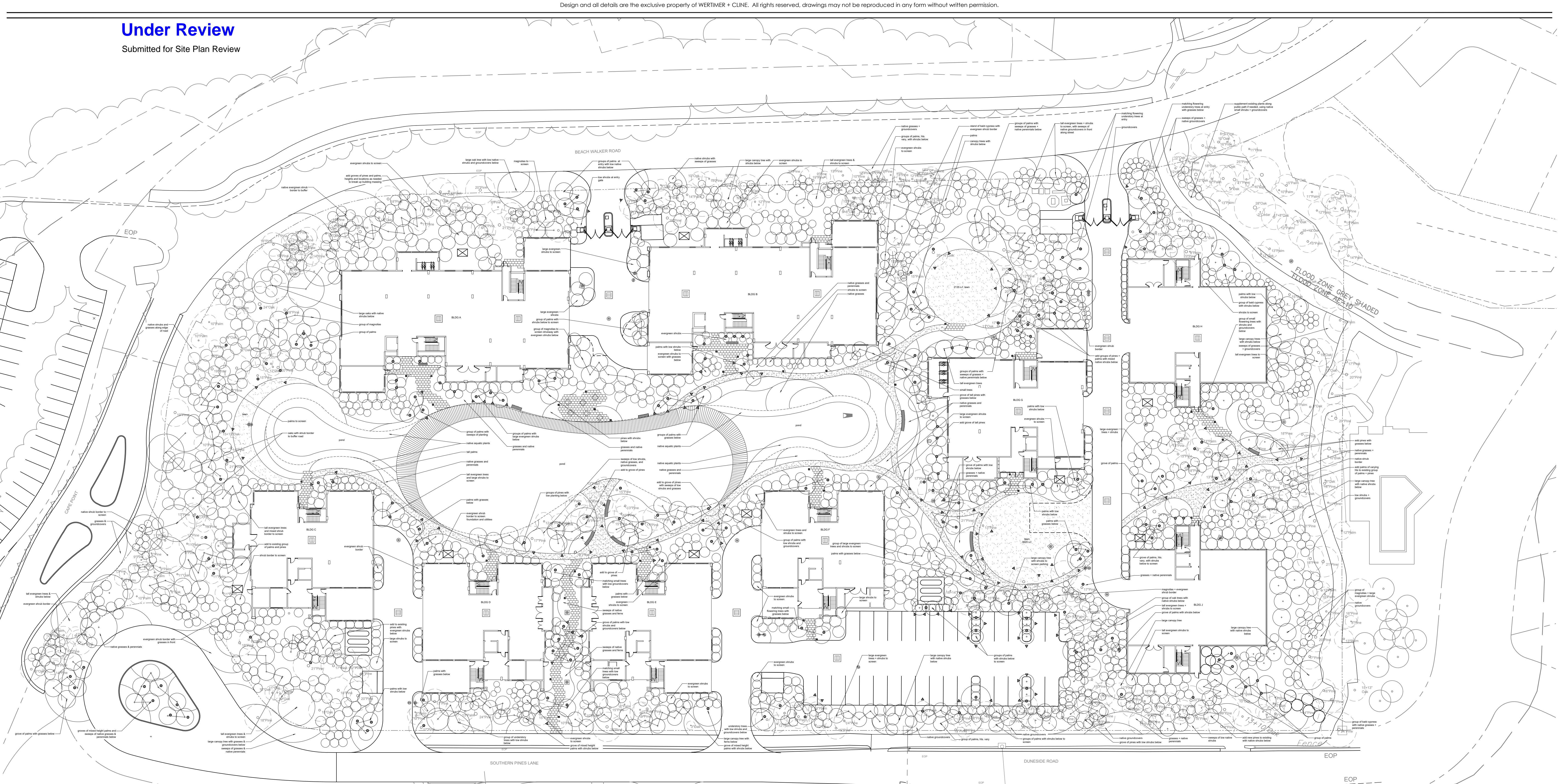
L-3 Scale 1" = 1'-0"

Section



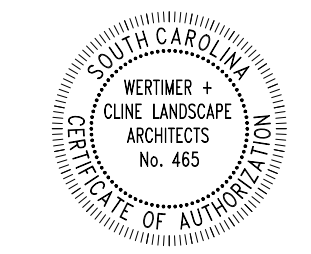
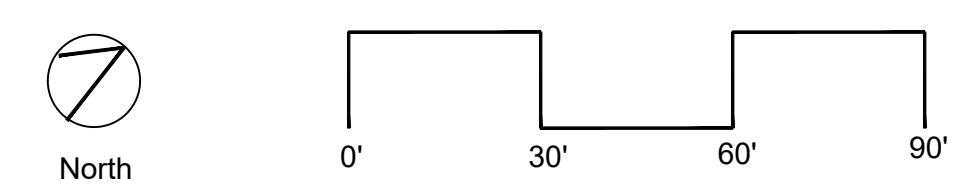
# Under Review

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## Lighting Legend

- uplight
- ▲ downlight
- path area light



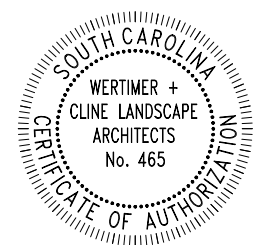
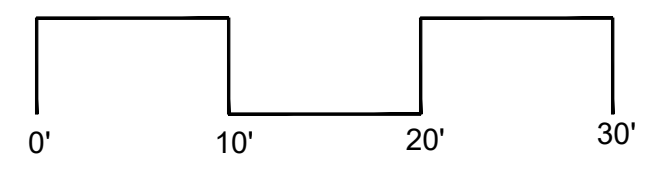
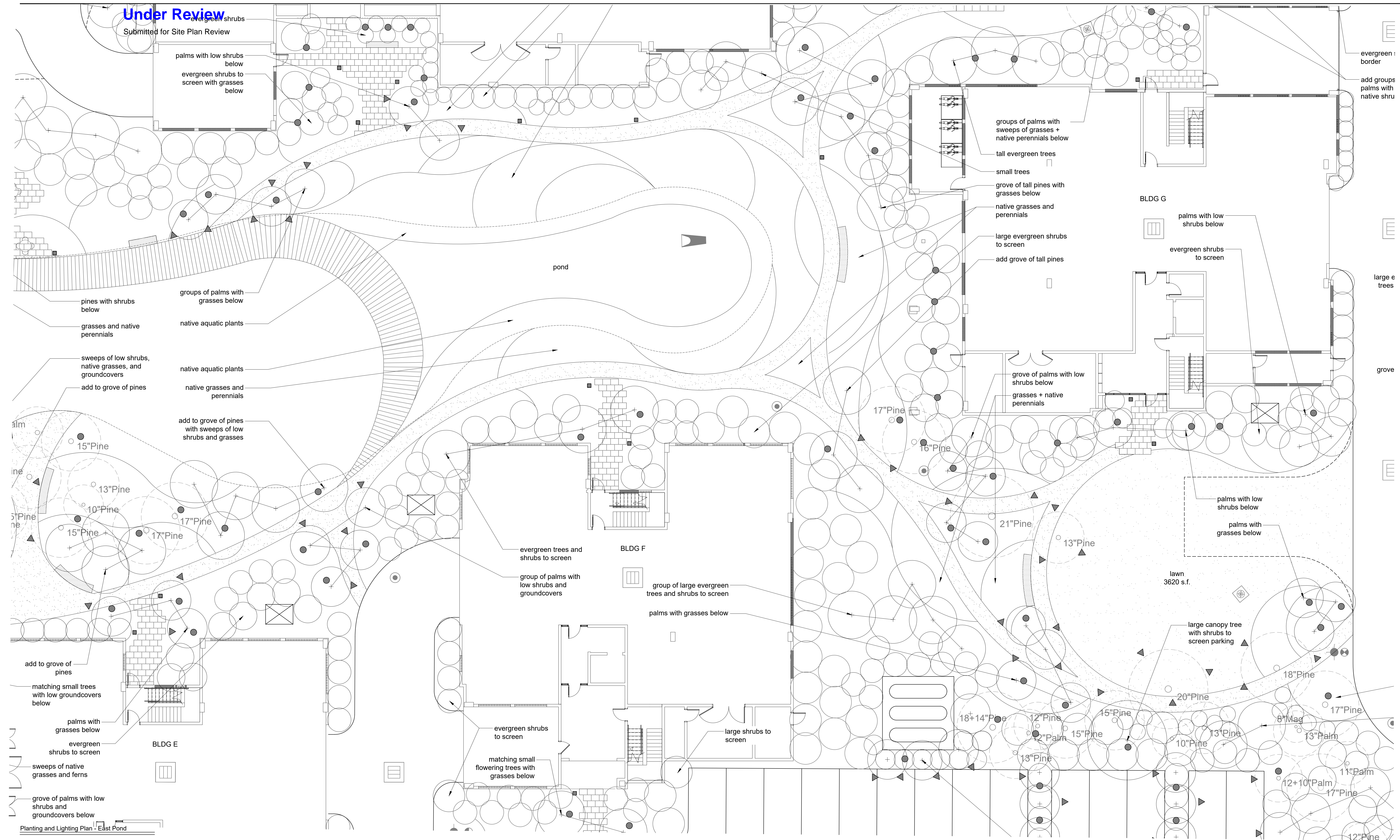






**Under Review**

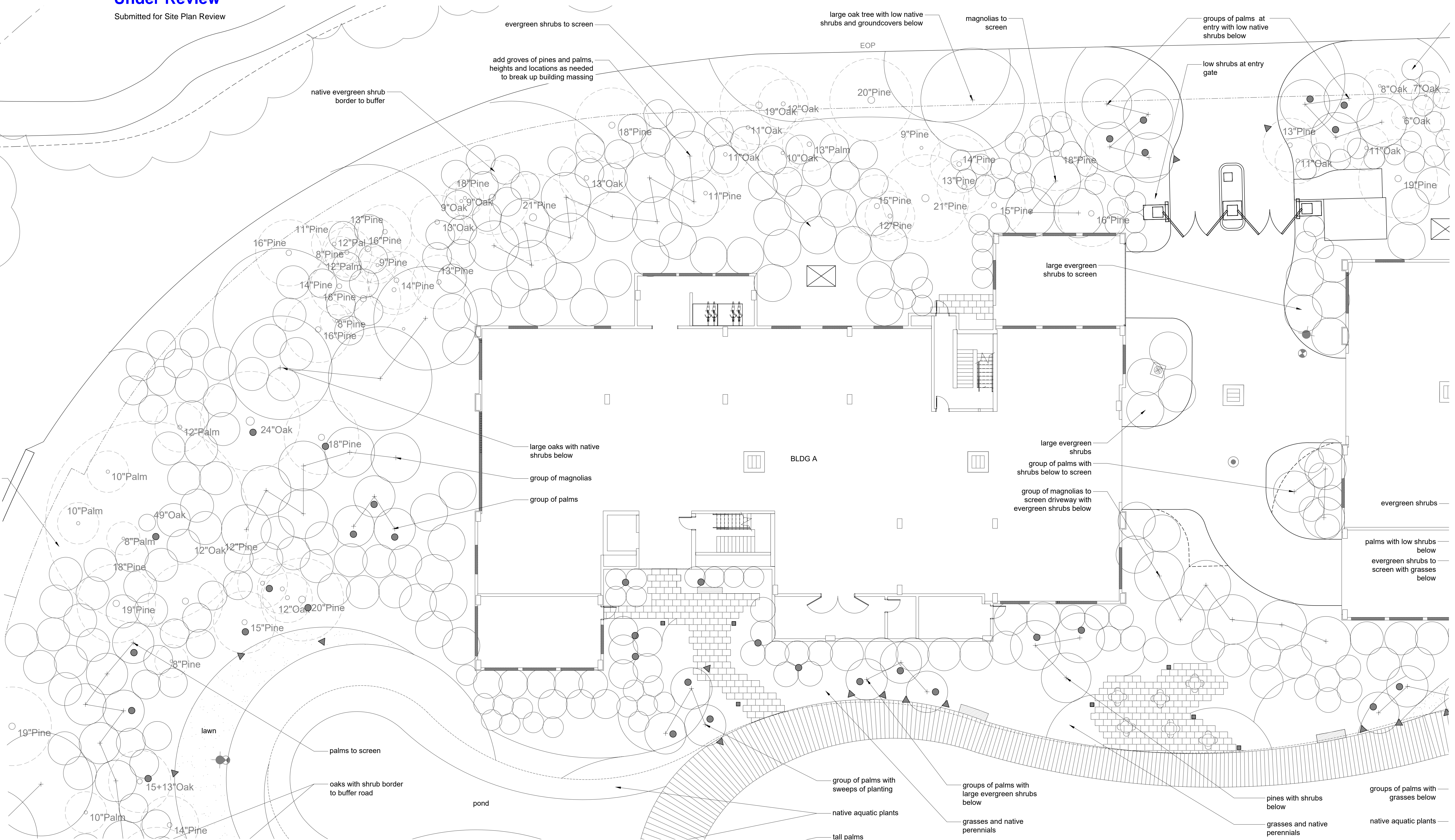
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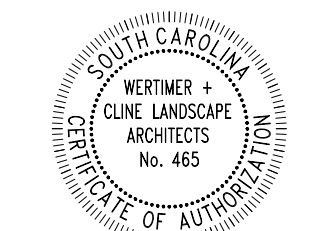
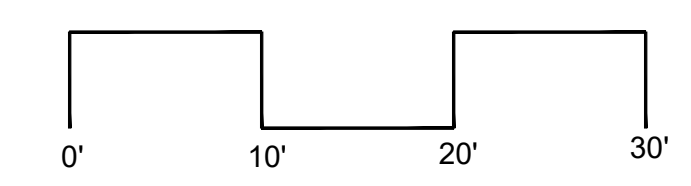
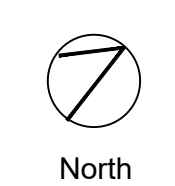


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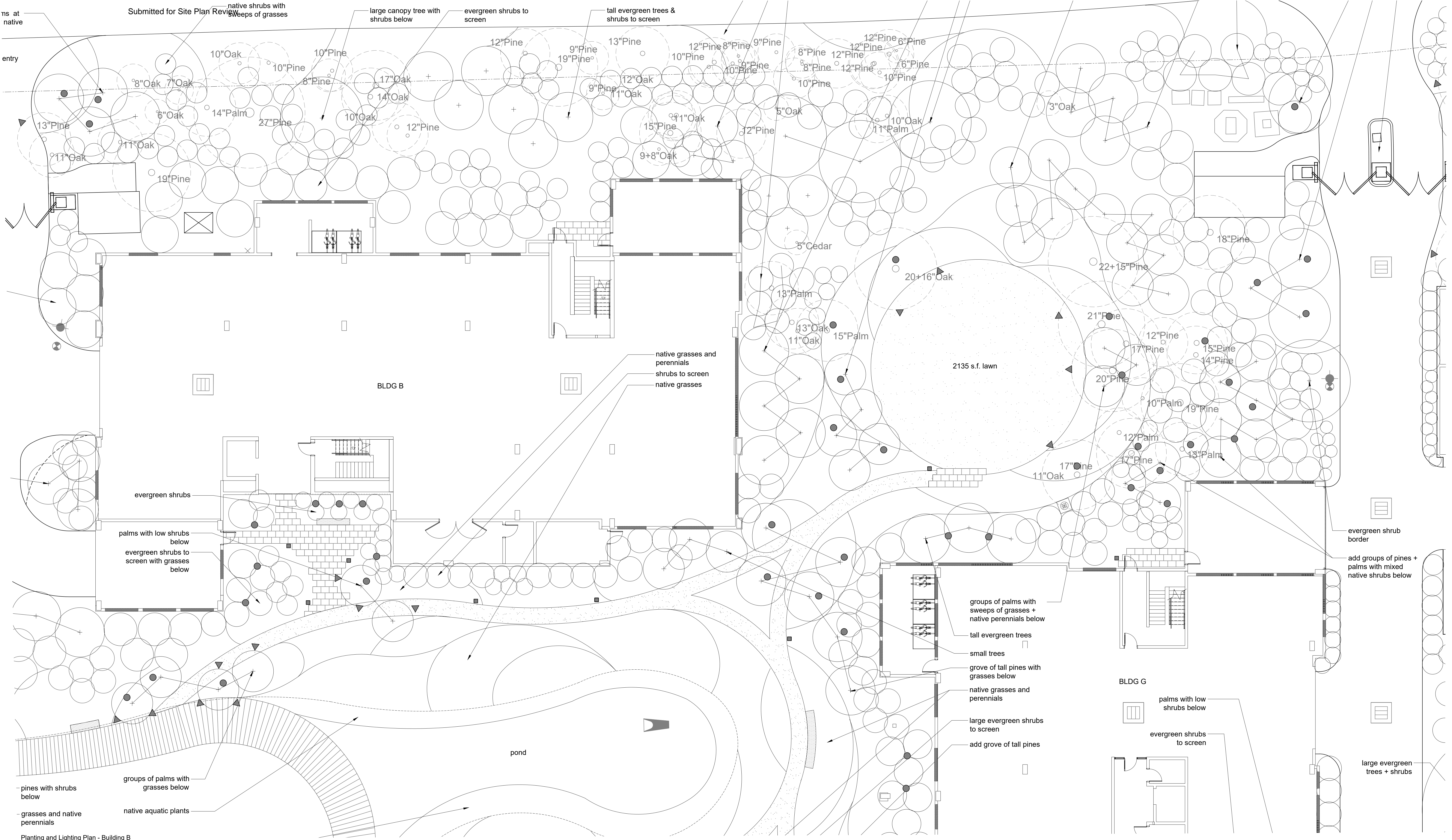


Planting and Lighting Plan- Building A





# Under Review

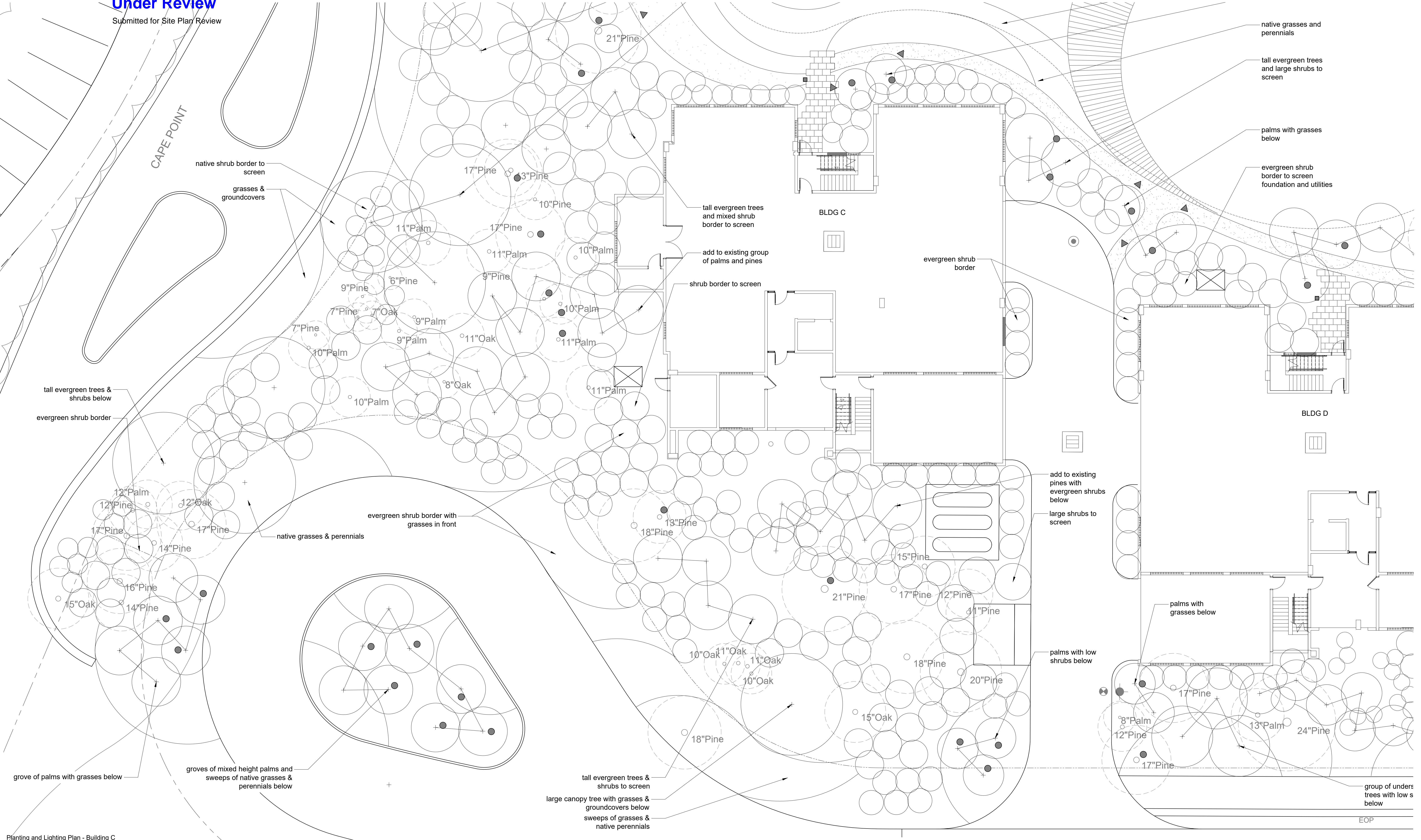


Planting and Lighting Plan - Building B



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Submitted for Site Plan Review

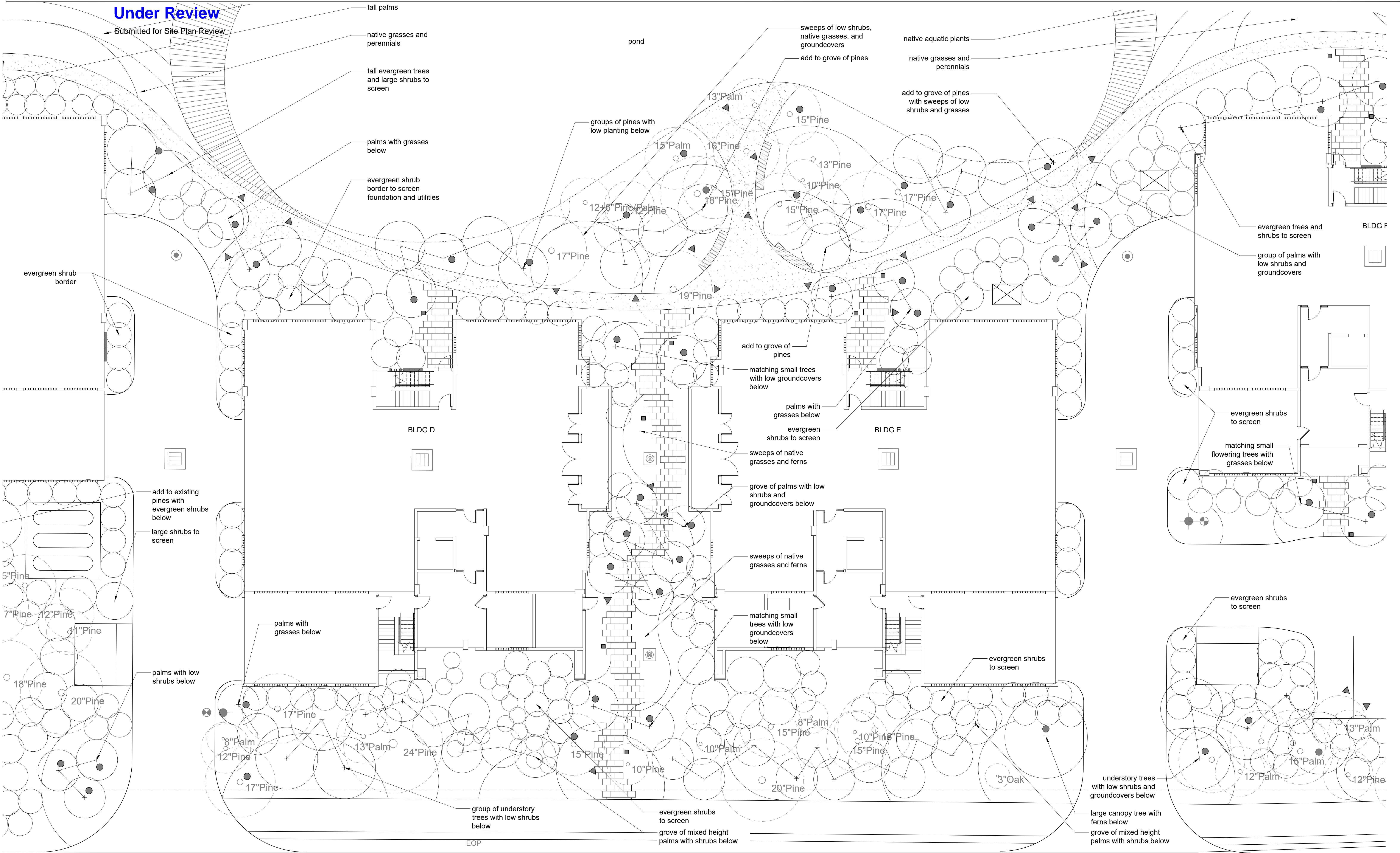


Planting and Lighting Plan - Building C

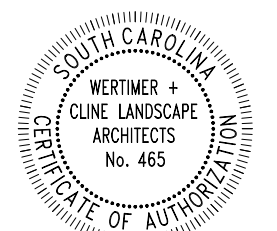


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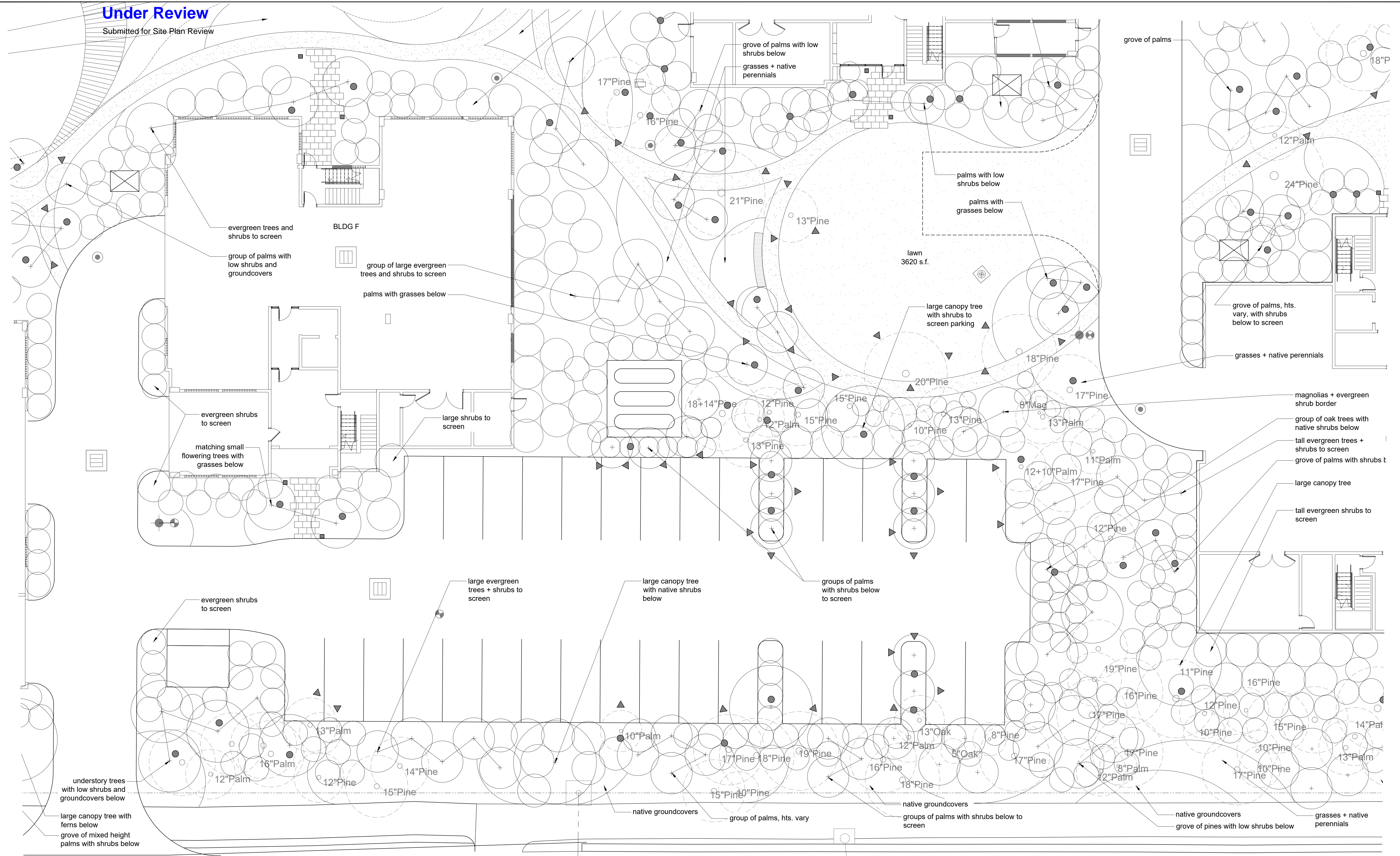
Planting and Lighting Plan - Buildings D + E



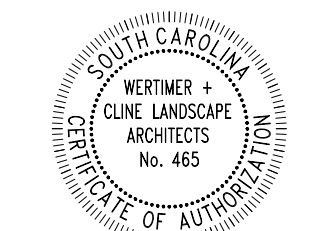
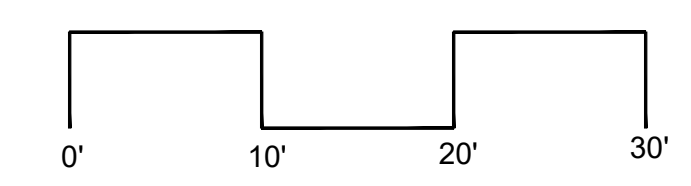
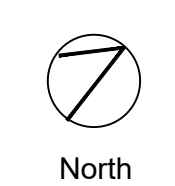


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Planting and Lighting Plan - Building F + Parking







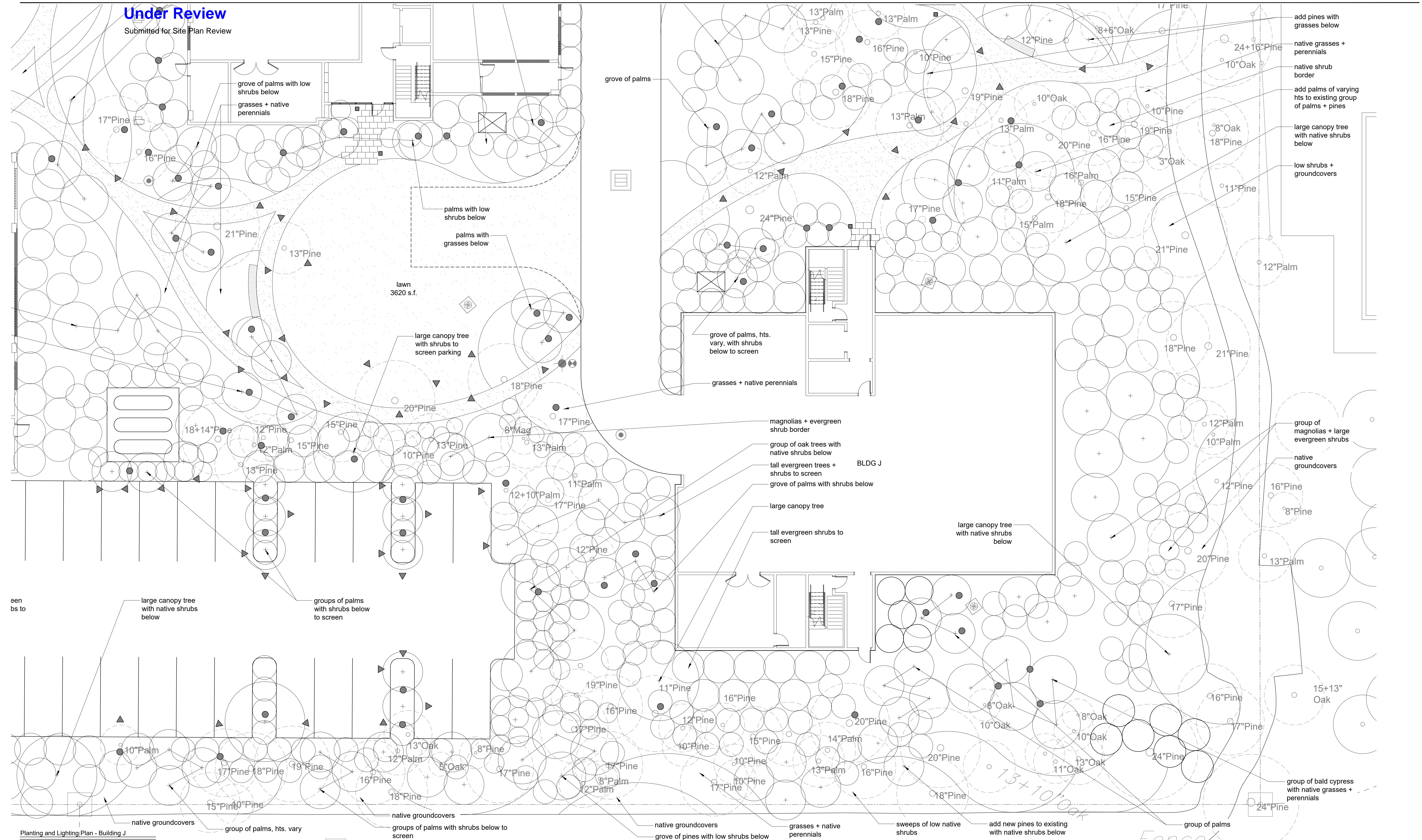




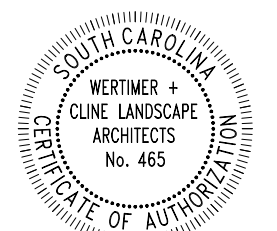
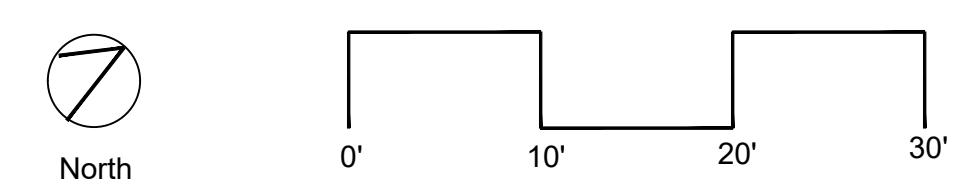


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Planting and Lighting Plan - Building J







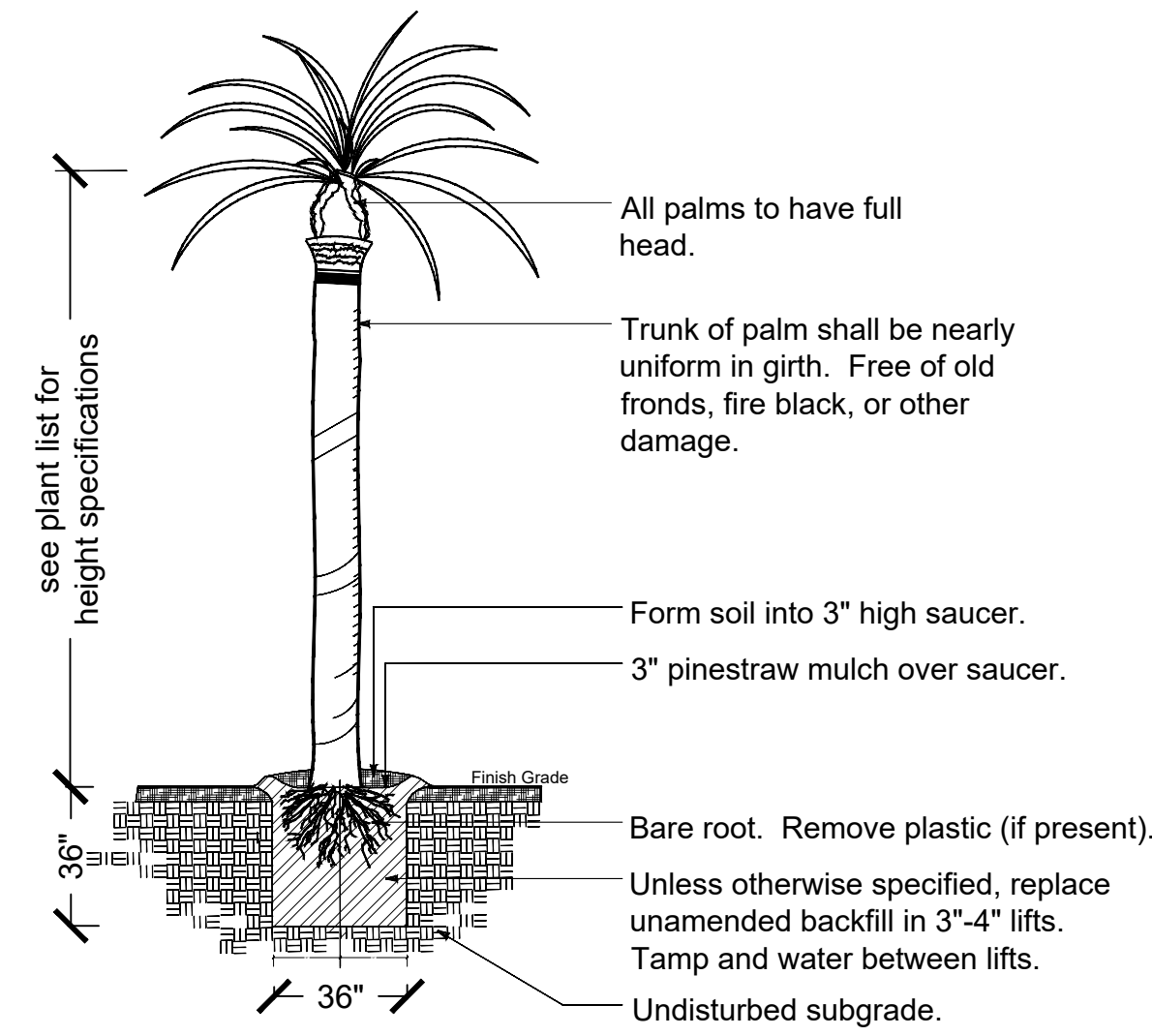


# Under Review

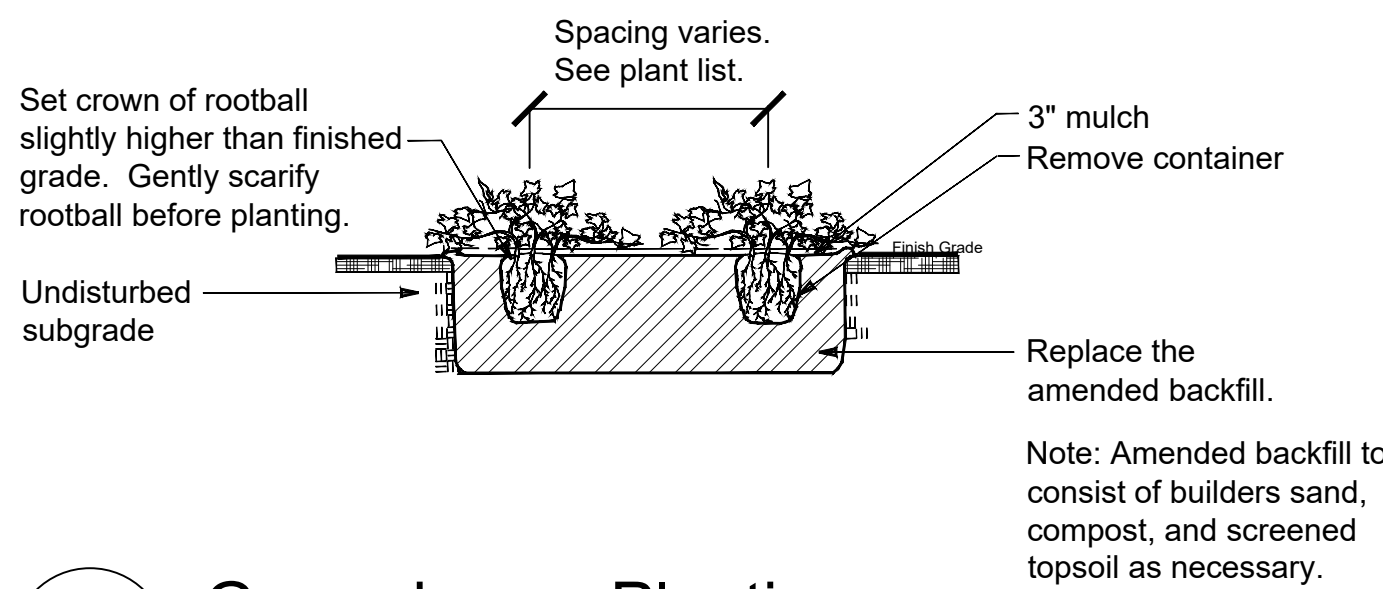
Submitted for Site Plan Review

## PLANTING NOTES

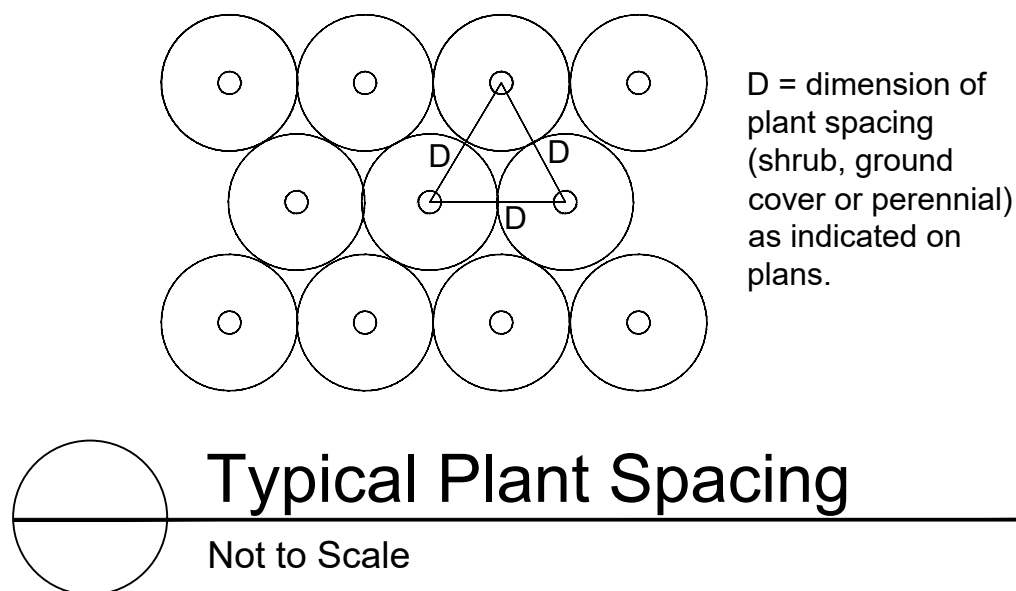
- The Landscape Contractor is responsible for contacting the utility locator service, NO CUTS (1.800.922.0983), to locate all existing underground electrical and telephone utilities. Contractor to make this contact prior to beginning construction.
- Landscape Contractor shall verify plans in the field and notify Landscape Architect of any discrepancies prior to construction.
- Tree plantings and bed lines shall be staked by Landscape Contractor for Landscape Architect's approval prior to installation. The Landscape Architect reserves the right to make adjustments to planting locations as needed.
- Base bid items include all indicated graded swales, berms, plantings, mulching, irrigation system, and backflow preventer. Irrigation system to provide 100% coverage to all plant beds on site and to include a minimum of two hose bibs, and a rain gauge
- Add fine pine bark mulch to all beds at 3 inch depth, unless otherwise noted.
- Landscape Contractor is responsible for maintaining all plants & work during the course of the project until final acceptance by Landscape Architect.
- Landscape Contractor to guarantee plant material for (1) one year from the date of final acceptance by Landscape Architect.
- The Landscape Contractor shall exercise extreme caution in areas where additional suspected underground utilities may exist. The Landscape Contractor shall be responsible for all damage to existing utilities, both known and unknown. Also, he shall exercise industry standard safety practices while working near vehicular traffic.
- Landscape Contractor shall make all arrangements for temporary irrigation system services, permits and fees as needed.
- Landscape Contractor to provide 3" Bee's Ferry compost or approved equal to all beds and fine grade to provide smooth transition into existing grades. Grade to prevent ponding.
- Plant material list is prepared for estimating purposes only. Contractors shall make their own quantity takeoffs using drawings to determine quantities to their satisfaction. Contractor shall report any discrepancies which may affect bidding to Landscape Architect.
- If seasonal conditions necessitate the need for container grown stock when balled and burlapped plant material is specified, contractor shall contact Landscape Architect for approval prior to substitution.
- If present, Landscape Contractor to include all pumps and filters suitable for aquatic plant culture in pools.
- Contractor must do a soil test and provide results to Landscape Architect and verify that existing soil conditions are adequate before any planting commences.



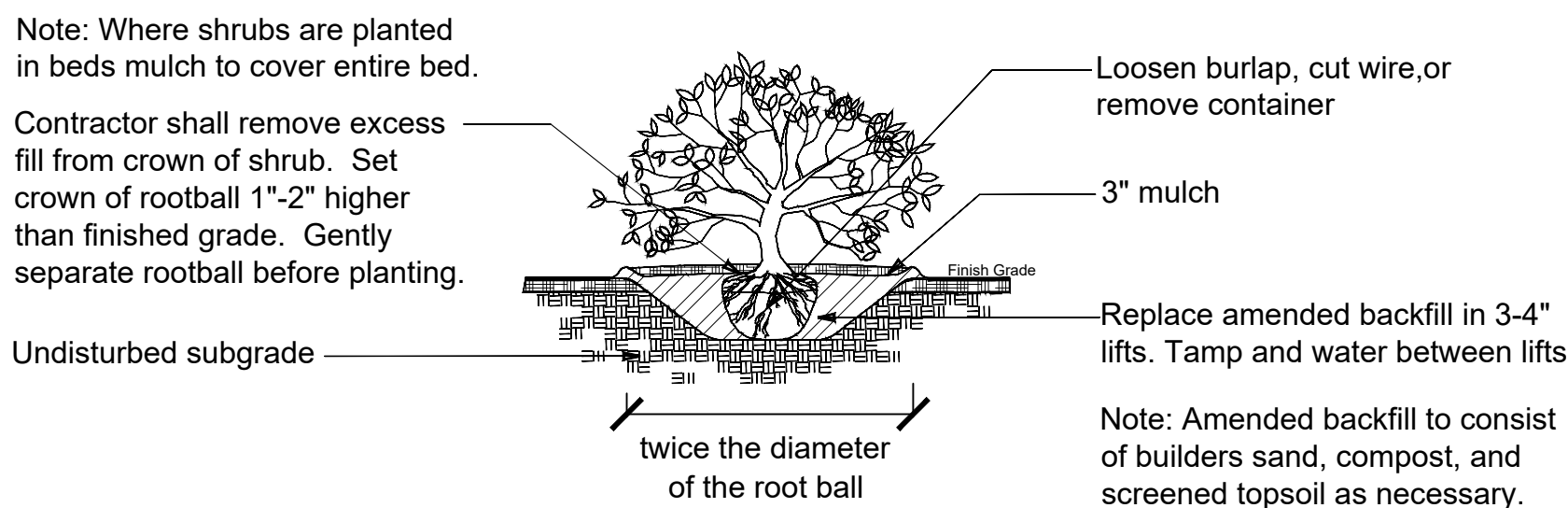
**Palm Tree Planting**  
Not to Scale



**Groundcover Planting**  
Not to Scale



**Typical Plant Spacing**  
Not to Scale



**Shrub Planting**  
Not to Scale

## Ocean Pines - Preliminary Plant List

### Trees

Botanical Name	Common Name	Size	Root	Remarks
<i>Butia capitata</i>	Pindo Palm	hts. tbd	b&b	
<i>Chionanthus virginicus</i>	American Fringetree	45 gal.	cont.	multi-stem
<i>Magnolia grandiflora</i>	Southern Magnolia	8'-10' ht.	cont.	
<i>Magnolia virginiana</i>	Sweetbay Magnolia	8'-10'	cont.	
<i>Pinus palustris</i>	Longleaf Pine	10'-12' ht.	cont.	variety tbd, multi-stem, specimen
<i>Pinus taeda</i>	Loblolly Pine	10'-12' ht.	cont.	
<i>Quercus virginiana</i>	Live Oak	6'-8" cal.	cont.	full heads
<i>Sabal palmetto</i>	Palmetto	hts. tbd	b&b	
<i>Taxodium distichum</i>	Bald Cypress	10'-12' ht.	cont.	
<i>Vitex agnus-castus</i>	Vitex	45 gal.	cont.	multi-stem

### Shrubs

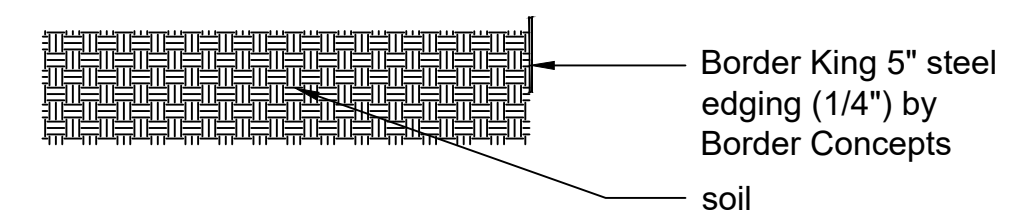
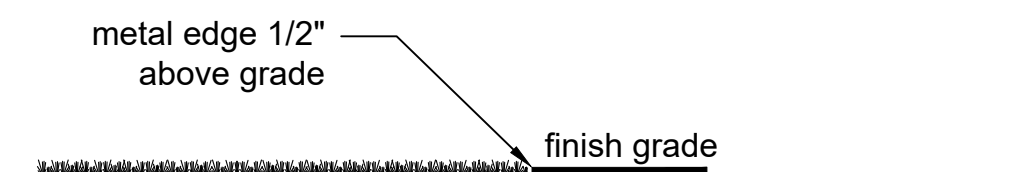
Botanical Name	Common Name	Size	Root	Remarks
<i>Callicarpa americana</i>	Beautyberry	7 gal.	cont.	
<i>Cyperus alternifolius</i>	Umbrella Plant	3 gal.	cont.	
<i>Ilex vomitoria</i>	Yaupon Holly	15 gal.	cont.	
<i>Illicium parviflorum</i>	Anise	15 gal.	cont.	
<i>Livistona chinensis</i>	Chinese Fan Palm	7 gal.	cont.	
<i>Myrica cerifera</i>	Wax Myrtle	15 gal.	cont.	
<i>Sabal minor</i>	Dwarf Palmetto	7 gal.	cont.	
<i>Serenoa repens</i>	Saw Palmetto	7 gal.	cont.	
<i>Serenoa repens 'Cinerea'</i>	Silver Saw Palmetto	7 gal.	cont.	
<i>Virburnum odoratissimum</i>	Sweet Viburnum	30 gal.	cont.	

### Perennials, Groundcover, Grasses, and Vines

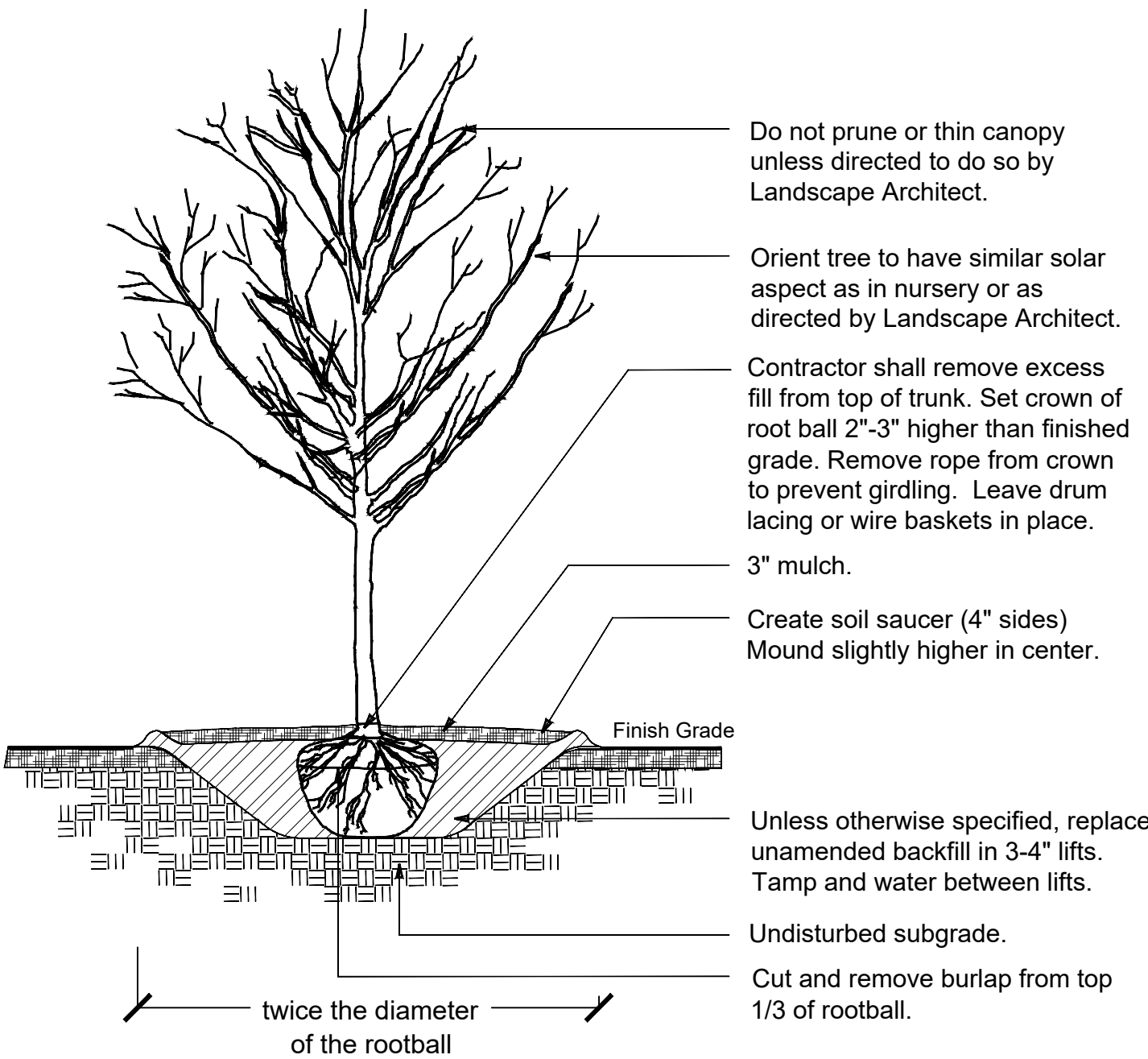
Botanical Name	Common Name	Size	Root	Remarks
<i>Andropogon glomeratus</i>	Bushy Bluestem	1 gal.	cont.	
<i>Andropogon virginicus</i>	Broomsedge	1 gal.	cont.	
<i>Conoclinium coelestinum</i>	Blue Mistflower	3 gal.	cont.	
<i>Coreopsis lanceolata</i>	Lanceleaf Tickseed	3 gal.	cont.	
<i>Eryngium yuccifolium</i>	Rattlesnake Master	3 gal.	cont.	
<i>Helianthus angustifolius</i>	Swamp Sunflower	3 gal.	cont.	
<i>Iris virginica</i>	Southern Blue Flag Iris	3 gal.	cont.	
<i>Juncus effusus</i>	Juncus	1 gal.	cont.	
<i>Juncus inflexis</i>	Blue Arrow Rush	1 gal.	cont.	
<i>Monarda punctata</i>	Spotted Bee Balm	3 gal.	cont.	
<i>Muhlenbergia capillaris</i>	Sweetgrass	1 gal.	cont.	
<i>Muhlenbergia capillaris 'White Cloud'</i>	White Sweetgrass	1 gal.	cont.	
<i>Panicum virgatum</i>	Switchgrass	3 gal.	cont.	
<i>Pycnanthemum muticum</i>	Mountain Mint	3 gal.	cont.	
<i>Spartina bakeri</i>	Sand Cordgrass	1 gal.	cont.	
<i>Spartina patens</i>	Saltmeadow Cordgrass	1 gal.	cont.	
<i>Solidago sempervirens</i>	Goldenrod	3 gal.	cont.	
<i>Verbena hastata</i>	Vervain	3 gal.	cont.	

### Water Plants

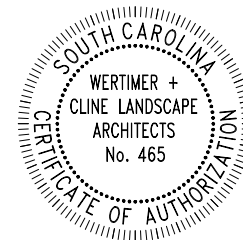
Botanical Name	Common Name	Size	Root	Remarks
<i>Acorus americanus</i>	Sweetflag Iris	1 gal.	cont.	
<i>Iris virginica</i>	Southern Blue Flag Iris	1 gal.	cont.	
<i>Juncus effusus</i>	Soft Rush	1 gal.	cont.	
<i>Juncus inflexis</i>	Blue Arrow Rush	1 gal.	cont.	
<i>Nymphoides aquatica</i>	Banana Lily	1 gal.	cont.	
<i>Pontederia cordata</i>	Pickersweed	1 gal.	cont.	
<i>Sagittaria lancifolia</i>	Lanceleaf Arrowhead	1 gal.	cont.	
<i>Saururus cernuus</i>	Lizard's Tail	1 gal.	cont.	



**1 Metal Edge**  
Scale: 1" = 1'-0"



**Deciduous Tree Planting**  
Not to Scale





































THESE DIMENSIONS ARE EXACTLY  
ONE HUNDRED AND SIXTYEIGHT  
FOUR AND SIXTEENTHS  
INCHES

**Under Review**  
Submitted for Site Plan Review

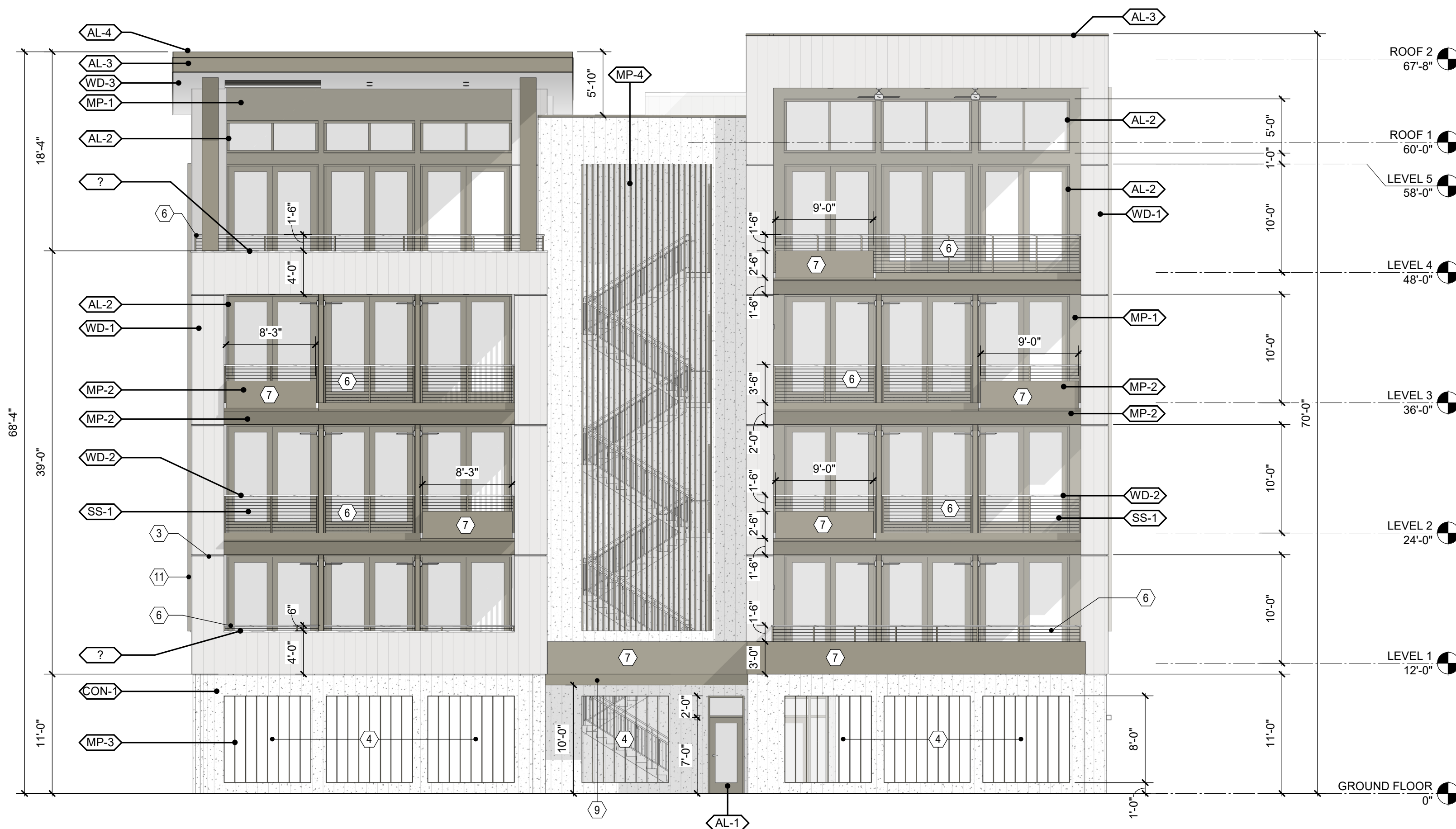
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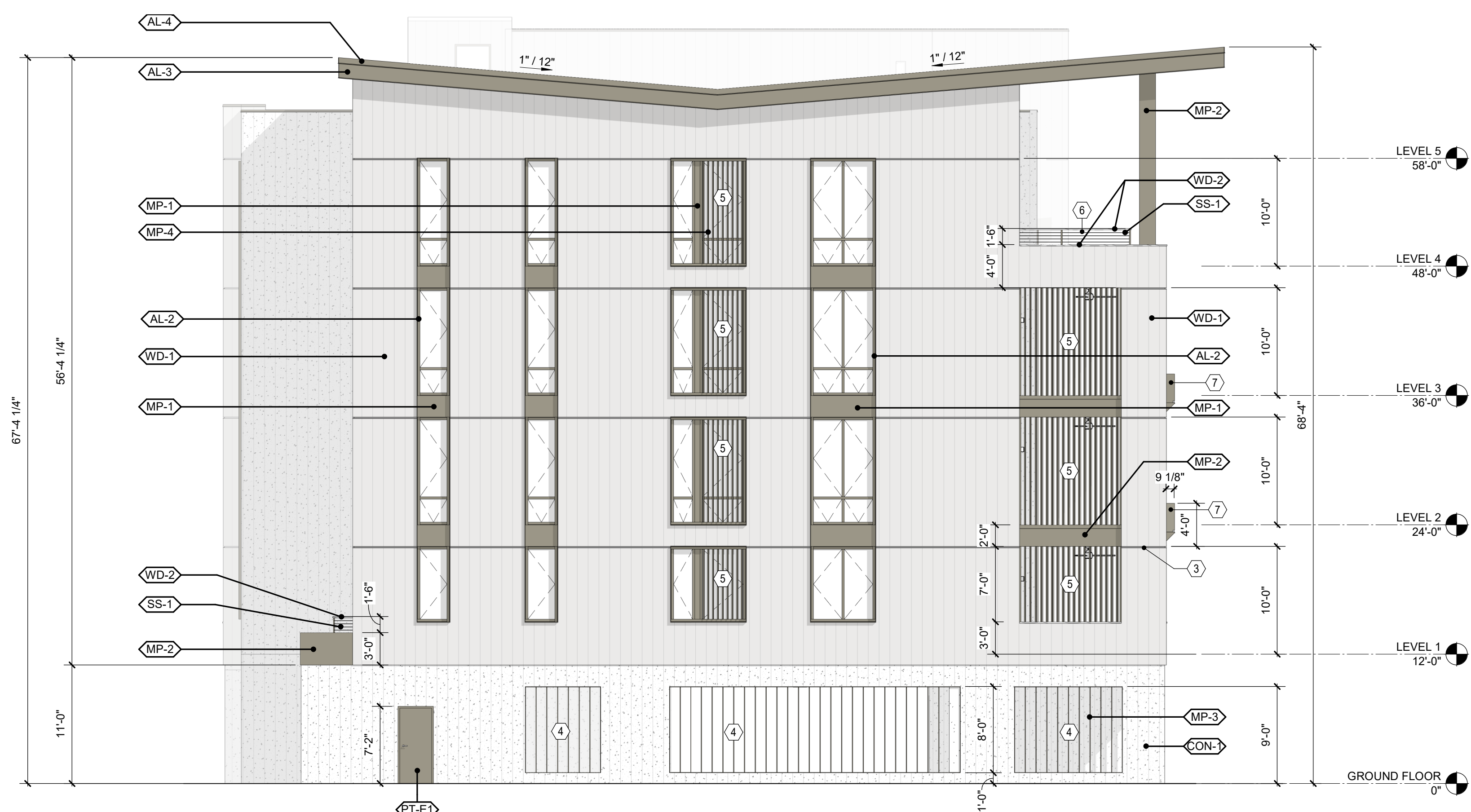
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**C2** ELEVATION- EXTERIOR- NORTH  
1/8" = 1'-0"



**A2** ELEVATION- EXTERIOR- EAST  
1/8" = 1'-0"

**BUILDING ELEVATION SHEET NOTES**

- EXTERIOR DIMENSIONS AT MASONRY VENEER ARE COURSING, NOT ACTUAL AND ARE TO FACE OF MASONRY.
- ALL PENETRATIONS, INCLUDING MECHANICAL DUCTS, ELECTRICAL LINES, WINDOWS AND DOORS, SHALL BE SEALED TO THE PRIMARY MOISTURE BARRIER.
- PROVIDE METAL FLASHING AT ALL HORIZONTAL TRANSITIONS AND MIN. 3/8" SEALANT JOINTS AT ALL TRANSITIONS BETWEEN DISSIMILAR MATERIALS AND PER MANUFACTURER'S REQUIREMENTS.
- PROVIDE SELF-ADHERING BUTYL MEMBRANE OVER SHEATHING AT ALL INSIDE / OUTSIDE CORNERS.
- SEALANT SHALL BE INSTALLED BETWEEN THE TOP OF FLASHING AND MOISTURE BARRIER. PROVIDE SEALANT END DAMS AT ENDS OF FLASHING.
- ALL EXPOSED STEEL SHALL BE GALVANIZED AND PAINTED UNLESS COMPONENTS ARE FACTORY-FINISHED.

**KIAWAH PARTNERS**

**LS3P**

205 1/2 KING STREET  
CHARLESTON, SOUTH CAROLINA 29401  
TEL. 843.577.4444 FAX. 843.722.4789  
WWW.LS3P.COM

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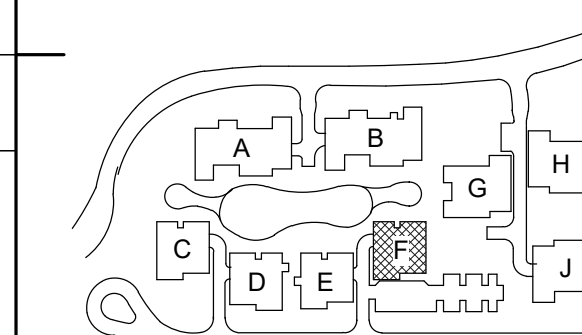
**ELEVATION NOTES BY NUMBER**

NUMBER	NOTE
1	LOUVERED OVERHEAD GARAGE DOOR, BRONZE FINISH
2	OPENING TO PARKING GARAGE BEYOND
3	TYP. ALUMINUM REVEAL, BRONZE FINISH
4	ALUMINUM FIXED LOUVER SYSTEM, 1 5/8" x 6" x 12" O.C. VERTICAL, PERIMETER NAILER AND METAL FASCIA @ EACH OPENING, FINISH TO MATCH AL-3
5	ALUMINUM FIXED LOUVER SYSTEM, 1 5/8" x 4" x 5" O.C. VERTICAL, FINISH TO MATCH AL-3
6	STAINLESS STEEL CABLE RAILING WITH WOOD CAP, CAP TO MATCH PORCH DECKING SYSTEM, BALUSTERS TO MATCH AL-3
7	METAL BALCONY PLANTERKNIFE EDGE DETAIL, FINISH TO MATCH AL-3
8	NOT USED
9	ALUMINUM TRELIS, FINISH TO MATCH AL-3, 1 1/2"x12" DEEP LOUVERS @ 12" O.C.
10	NOT USED
11	4" DEEP ALUMINUM RAINSCREEN FIN @ PUNCHED OPENINGS, FINISH TO MATCH AL-3

**OCEAN PINES - BUILDING F**  
4401 + 4101 SOUTHERN PINES LANE  
KIAWAH ISLAND, SC 29455  
LS3P PROJECT: 1512-230025

DATE	DESCRIPTION

KEY PLAN:



**ELEVATION MATERIAL LEGEND**

- WD-1 WOOD VERTICAL SIDING BOARD
- CON-1 BOARD-FORMED CONCRETE
- MP-X, AL-X METAL, FACTORY/ PAINT FINISH

SHEET NAME:  
**BUILDING ELEVATIONS**

ORIG SUBMISSION: 2023.09.01

SHEET:  
**A-201F**

FINAL ARB SUBMISSION

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**Under Review**

Submitted for Site Plan Review



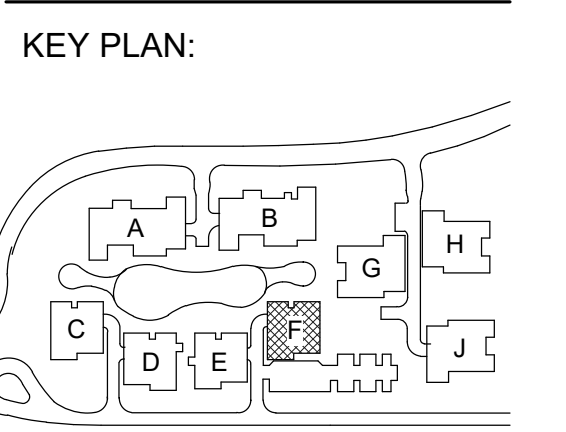
**LS3P**  
 205 1/2 KING STREET  
 CHARLESTON, SOUTH CAROLINA 29401  
 TEL. 843.577.4444 FAX. 843.722.4789  
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**OCEAN PINES - BUILDING F**  
 4401 + 4101 SOUTHERN PINES LANE  
 KIWAH ISLAND, SC 29455  
 LS3P PROJECT: 1512-230025

DATE	DESCRIPTION



**SHEET NAME:**  
 BUILDING ELEVATIONS

**ORIG SUBMISSION:** 2023.09.01

**SHEET:**  
**A-202F**

FINAL ARB SUBMISSION

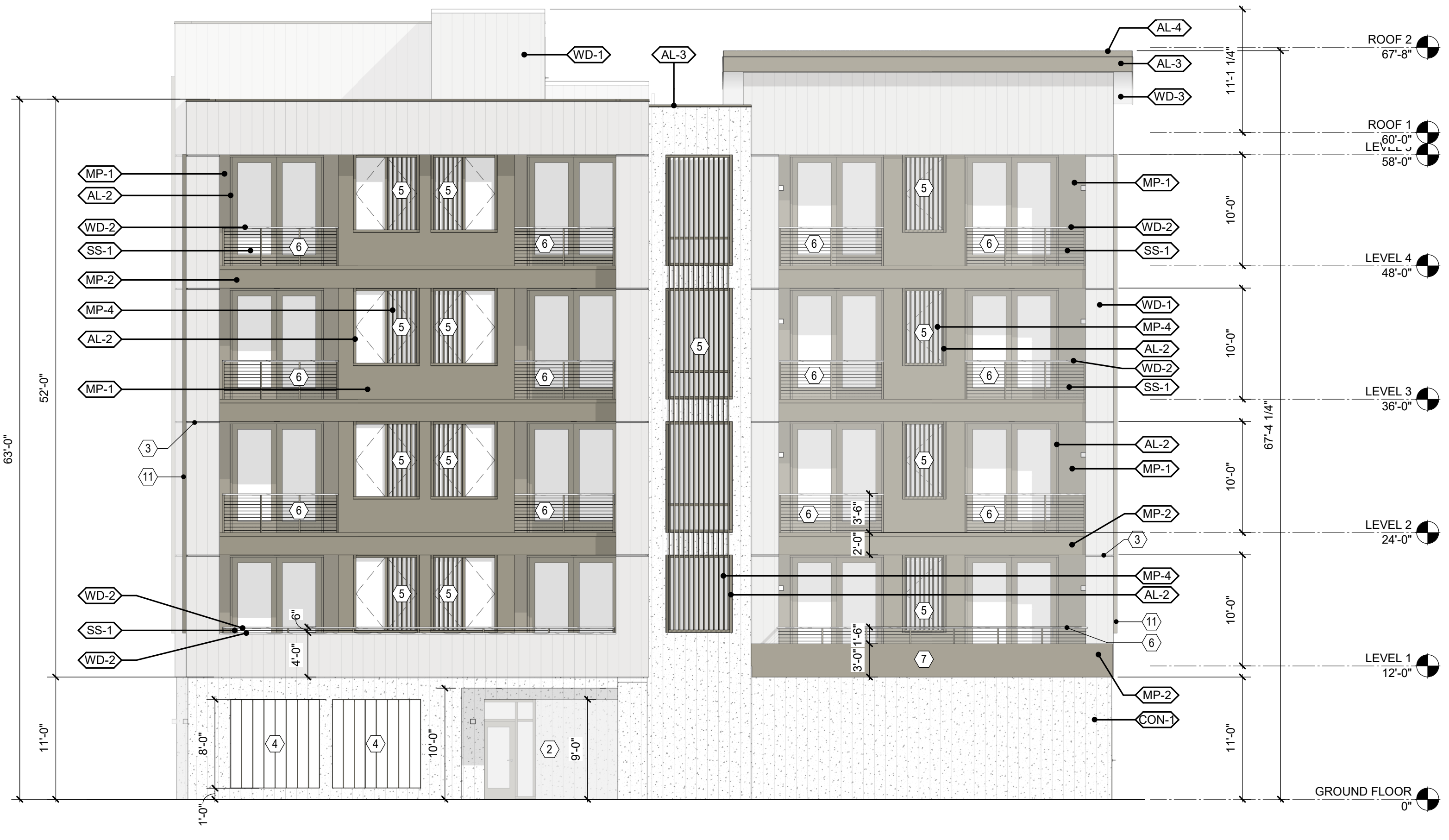
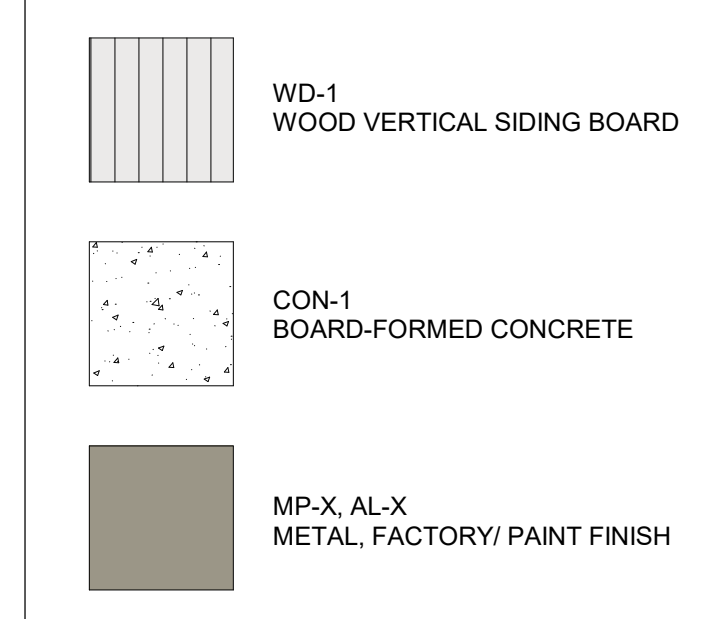
**BUILDING ELEVATION SHEET NOTES**

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**ELEVATION NOTES BY NUMBER**

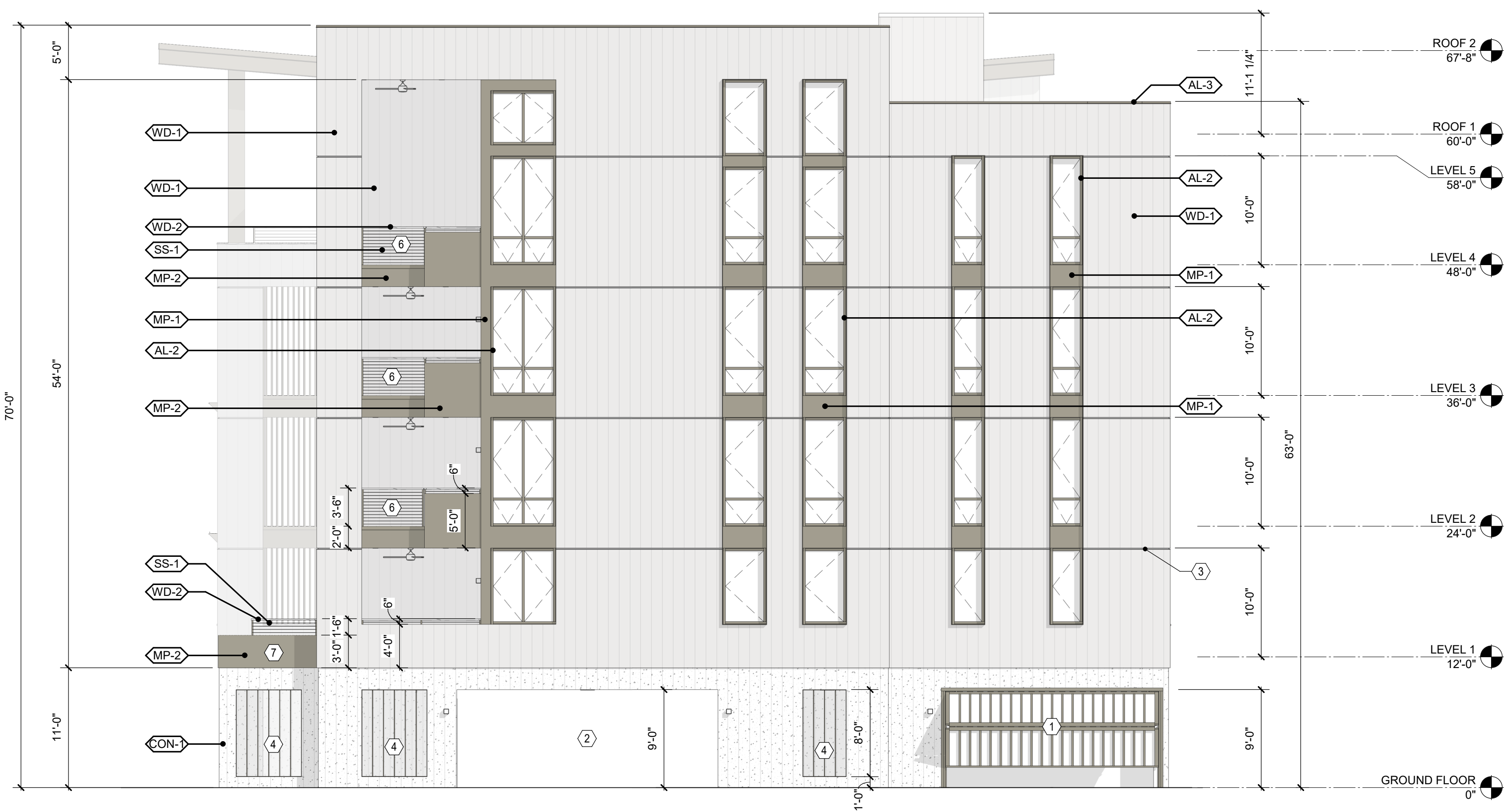
#	NOTE
1	LOUVERED OVERHEAD GARAGE DOOR, BRONZE FINISH
2	OPENING TO PARKING GARAGE BEYOND
3	TYP. ALUMINUM REVEAL, BRONZE FINISH
4	ALUMINUM FIXED LOUVER SYSTEM, 1 5/8" x 6" x 12" O.C. VERTICAL, PERIMETER NAILER AND METAL FASCIA @ EACH OPENING, FINISH TO MATCH AL-3
5	ALUMINUM FIXED LOUVER SYSTEM, 1 5/8" x 4" x 5" O.C. VERTICAL, FINISH TO MATCH AL-3
6	STAINLESS STEEL CABLE RAILING WITH WOOD CAP; CAP TO MATCH PORCH DECKING SYSTEM. BALUSTERS TO MATCH AL-3
7	METAL BALCONY PLANTERKNIFE EDGE DETAIL, FINISH TO MATCH AL-3
8	NOT USED
9	ALUMINUM TRELIS, FINISH TO MATCH AL-3. 1 1/2"x12" DEEP LOUVERS @ 12" O.C.
10	NOT USED
11	4" DEEP ALUMINUM RAINSCREEN FIN @ PUNCHED OPENINGS, FINISH TO MATCH AL-3

**ELEVATION MATERIAL LEGEND**



**ELEVATION- EXTERIOR- SOUTH**

1/8" = 1'-0"



**ELEVATION- EXTERIOR- WEST**

1/8" = 1'-0"

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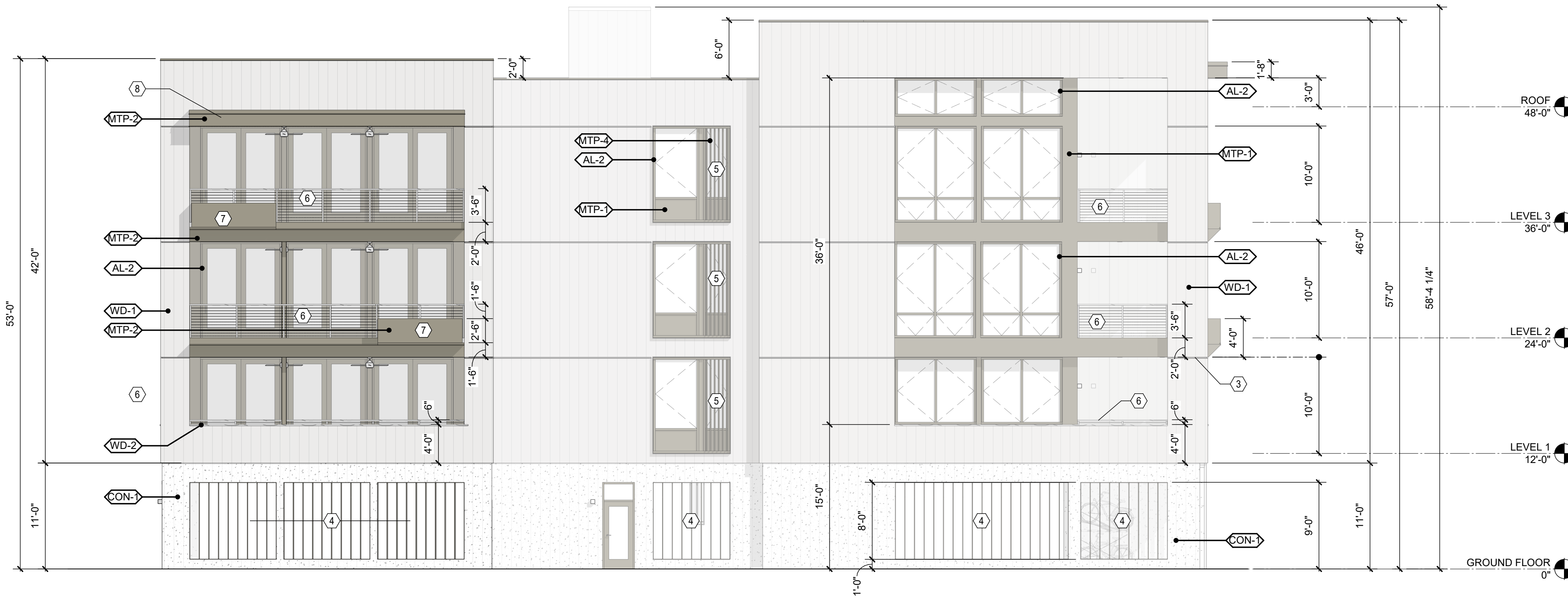
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**Under Review**

Submitted for Site Plan Review



**C1 ELEVATION- EXTERIOR- NORTH**  
1/8" = 1'-0"



**A1 ELEVATION- EXTERIOR- EAST**  
1/8" = 1'-0"

**BUILDING ELEVATION SHEET NOTES**

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ELEVATION NOTES BY NUMBER	
NUMBER	NOTE
1	LOUVERED BIFOLD OVERHEAD GARAGE DOOR, FINISH TO MATCH AL-3. LOUVERS SPACED @ 12" O.C.
2	OPENING TO PARKING GARAGE BEYOND
3	TYP. ALUMINUM REVELA, FINISH TO MATCH AL-3
4	ALUMINUM FIXED LOUVER SYSTEM, 1 5/8" x 6" x 12" O.C., VERTICAL, PERIMETER NAILER AND METAL FASCIA @ EACH OPENING. FINISH TO MATCH AL-3
5	ALUMINUM FIXED LOUVER SYSTEM, 1 5/8" x 4" x 5" O.C., VERTICAL, FINISH TO MATCH AL-3
6	STAINLESS STEEL, CABLE RAILING WITH WOOD CAP; CAP TO MATCH PORCH DECKING SYSTEM, BALLISTERS TO MATCH AL-3
7	METAL BALCONY PLANTER/KNIFE EDGE DETAIL, FINISH TO MATCH AL-3
8	CANTILEVERED ALUMINUM SUNSHADE/CANOPY, FINISH TO MATCH AL-3
9	ALUMINUM TRELLIS, FINISH TO MATCH AL-3, 1 1/2" x 12" DEEP LOUVERS @ 12" O.C.
10	NOT USED
11	4" DEEP ALUMINUM RAINSCREEN FIN @ PUNCHED OPENINGS, FINISH TO MATCH AL-3

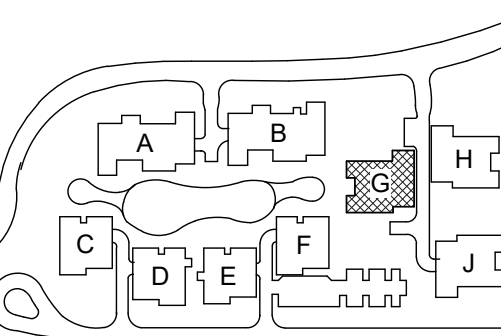
**OCEAN PINES - BUILDING G**

1301 BEACHWALKER DRIVE  
KIAWAH ISLAND, SC 29455

LS3P PROJECT: 1512-230025

DATE	DESCRIPTION

KEY PLAN:



**ELEVATION MATERIAL LEGEND**

- WD-1 WOOD VERTICAL SIDING BOARD
- CON-1 BOARD-FORMED CONCRETE
- MP-X, AL-X METAL, FACTORY/ PAINT FINISH

**SHEET NAME:**  
BUILDING ELEVATIONS

**ORIG SUBMISSION:** 2023.09.01

**SHEET:**  
**A-201G**

FINAL ARB SUBMISSION

THESE DRAWINGS ARE EXACTLY AS SUBMITTED TO THE ARB. ANY CHANGES TO THESE DRAWINGS SHALL BE MADE TO ALL SHEETS OF THIS SET. DATE: 9/11/2023 9:53:07 AM







CURVE	LENGTH	RADIUS	TANGENT	CHORD DISTANCE	BEARING	DELTA
C1	6.14'	500.00'	3.07'	6.14'	N83°30'07"E	0°42'12"
C2	58.86'	60.00'	32.04'	56.52'	N88°02'40"W	56°21'14"
C3	128.86'	60.00'	110.62'	105.48'	S58°31'56"W	123°03'03"
C4	53.95'	178.00'	27.19'	53.75'	S15°12'47"W	17°22'02"
C5	108.22'	122.00'	57.96'	104.71'	N01°30'55"W	50°49'25"
C6	55.23'	178.00'	27.84'	55.01'	S18°02'16"E	17°46'43"
C7	34.02'	178.00'	17.06'	33.97'	S03°40'21"E	10°57'07"
C8	170.65'	157.85'	94.74'	162.46'	S30°40'18"W	61°56'30"
C9	190.42'	352.04'	97.60'	188.11'	N46°08'51"E	30°59'29"

CURVE	LENGTH	RADIUS	TANGENT	CHORD DISTANCE	BEARING	DELTA
CCL1	83.38'	85.00'	45.39'	80.08'	S88°02'40"E	56°21'14"
CCL2	135.55'	35.00'	91.43'	65.37'	N09°06'37"E	221°53'40"
CCL3	137.56'	525.00'	69.18'	137.17'	S70°39'24"W	15°00'47"

LINE	BEARING	DISTANCE
L1	N 89°42'03" E	3.39'
L2	S 74°17'11" E	93.51'
L3	N 77°00'49" E	100.03'
L4	N 78°30'00" E	28.39'
L5	S 06°03'08" W	59.09'
L6	S 63°41'38" W	54.96'
L7	S 81°26'04" W	104.64'
L8	N 59°56'33" W	38.45'
L9	N 87°30'08" E	17.64'

LINE	BEARING	DISTANCE
DH1	S 86°29'48" E	20.59'
DH2	S 75°29'33" E	47.30'
DH3	S 72°50'17" E	20.34'
DH4	S 89°35'10" E	30.96'
DH5	N 78°48'55" E	18.29'
DH6	N 76°07'08" E	47.66'
DH7	S 78°03'48" E	8.71'
DH8	S 72°33'56" E	7.30'
DH9	S 41°11'52" E	10.97'
DH10	S 12°04'36" E	8.84'
DH11	S 15°55'12" W	6.85'
DH12	S 37°19'30" W	19.34'
DH13	S 46°29'59" W	15.78'
DH14	S 58°00'33" W	16.80'
DH15	S 78°08'58" W	47.80'
DH16	S 83°25'21" W	22.72'
DH17	S 81°55'20" W	14.10'
DH18	S 84°57'54" W	13.53'
DH19	N 62°49'52" W	13.83'
DH20	N 42°52'42" W	13.06'
DH21	N 28°57'39" W	10.62'
DH22	N 41°12'34" W	14.70'
DH23	S 74°35'30" W	19.27'
DH24	S 81°34'34" W	16.74'
DH25	N 47°14'46" W	14.70'
DH26	N 31°24'22" W	14.17'
DH27	N 11°24'47" W	8.51'
DH28	N 20°18'01" E	6.00'
DH29	N 41°54'02" E	19.19'
DH30	N 58°34'51" E	7.87'

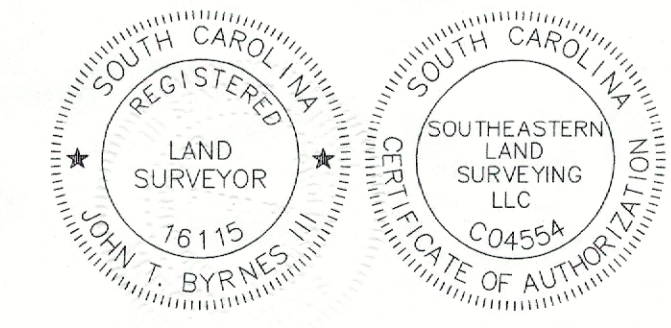
THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT (SCDHEC OCRM) PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF SCDHEC OCRM, SCDHEC IS IN NO WAY WAIVES THE RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREIN OR NOT.

Signature: *Brooks J. Byrnes* DATE: 08/29/2022  
The critical line shown on this plat is valid for five years from the date of this signature, subject to the cautionary language above.

**SURVEYORS CERTIFICATION:**

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

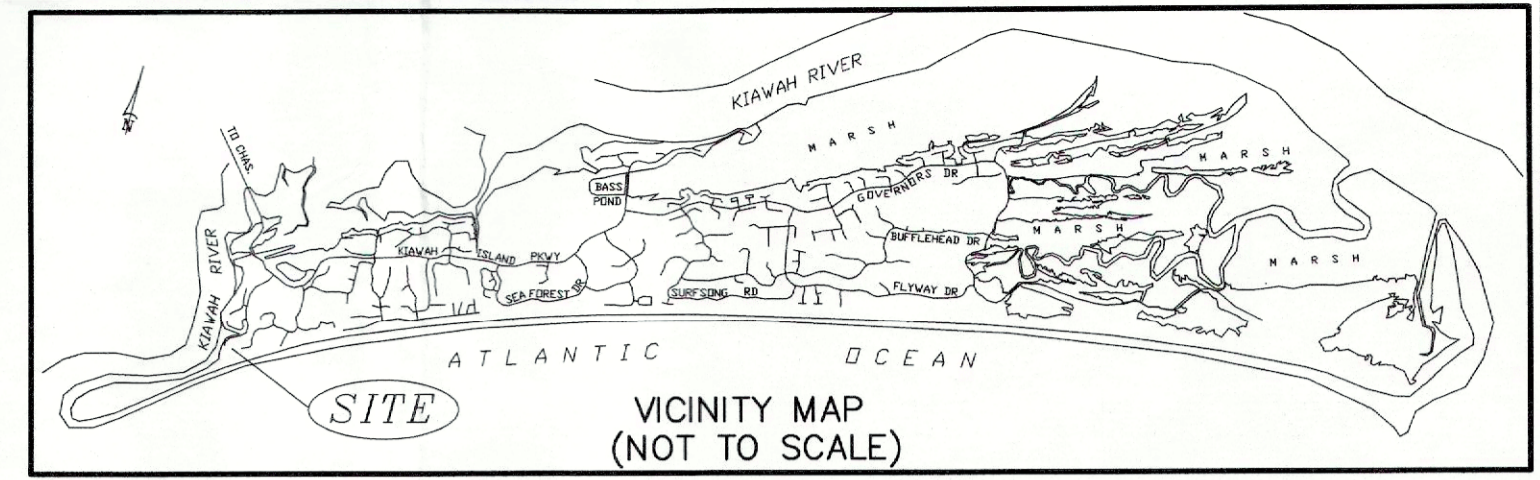
JOHN T. BYRNES III S.C.P.L.S. NO. 16115



**ADJOINER PARCEL INFORMATION:**

NO.	TMS#	PARCEL OWNER:	DEED BOOK:	PLAT BOOK:	SUBDIVISION:
1	207-06-00-187	KIAWAH ISLAND COTTAGE OWNERS ASSOC. INC	X175 PG.335	AJ PG.83	PHASE III SPARROW POND COTTAGES
2	207-06-00-075	WARD STEPHEN E AND EMILY T	J227 PG.837	AH PG.65	SPARROW POND COTTAGES
3	207-06-00-074	WARD GREGORY F AND BARBARA N TRUST	O529 PG.156	AH PG.65	SPARROW POND COTTAGES
4	207-06-00-073	LARACH DAVID R TRUST LARACH MARILYN G	O485 PG.433	AH PG.65	SPARROW POND COTTAGES
5	207-05-00-107	MILER D SHERWOOD III ET AL	O004 PG.243	AO PG.13	INLET COVE CLUB, PHASE III
6	207-05-00-106	DARUS GREGORY A DARUS RUTH W	K338 PG.639	AO PG.13	INLET COVE CLUB, PHASE III
7	207-05-00-105	ZACK GEORGE J ZACK KERRY S	K372 PG.654	AO PG.13	INLET COVE CLUB, PHASE III
8	207-05-00-104	MANETTA ROBERT MANETTA EVELYN	O323 PG.494	AO PG.13	INLET COVE CLUB, PHASE III
9	207-05-00-103	BURGES GENE E TRUST LAKE ANNE B	O276 PG.864	AO PG.90	INLET COVE CLUB, PHASE III
10	207-05-00-102	CHERITHAN COTTAGE TLP	C560 PG.457	AO PG.13	INLET COVE CLUB, PHASE III
11	207-05-00-101	MIESZALA JAMES R MIESZALA DARLENE W	2843 PG.179	AO PG.13	INLET COVE CLUB, PHASE III
12	207-05-00-099	RISHIEL ROY W AND MARY ANN	F191 PG.431	AO PG.13	INLET COVE CLUB, PHASE III
13	207-05-00-098	GARRICK JULIE R	2423 PG.405	AO PG.90	INLET COVE CLUB, PHASE III
14	207-05-00-098	POSTON JOHN H POSTON KAYCEE CONNOLLY	T321 PG.685	AO PG.13	INLET COVE CLUB, PHASE III

ACREAGE CHART			
	HIGHLAND ACREAGE	ACREAGE BELOW DHEC-OCRM SETBACK LINE	ACREAGE DHEC-OCRM POND AREA
LOT 1	6.717		0.276
TOTAL	6.717		0.276
TOTAL ACREAGE:	6.993		



**OWNER OF RECORD:**  
KIAWAH RESORT ASSOCIATES LP  
1 KIAWAH ISLAND PKY  
KIAWAH ISLAND SC 29455-5725

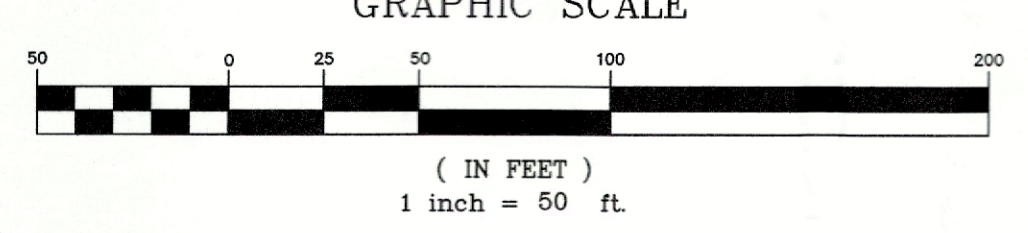
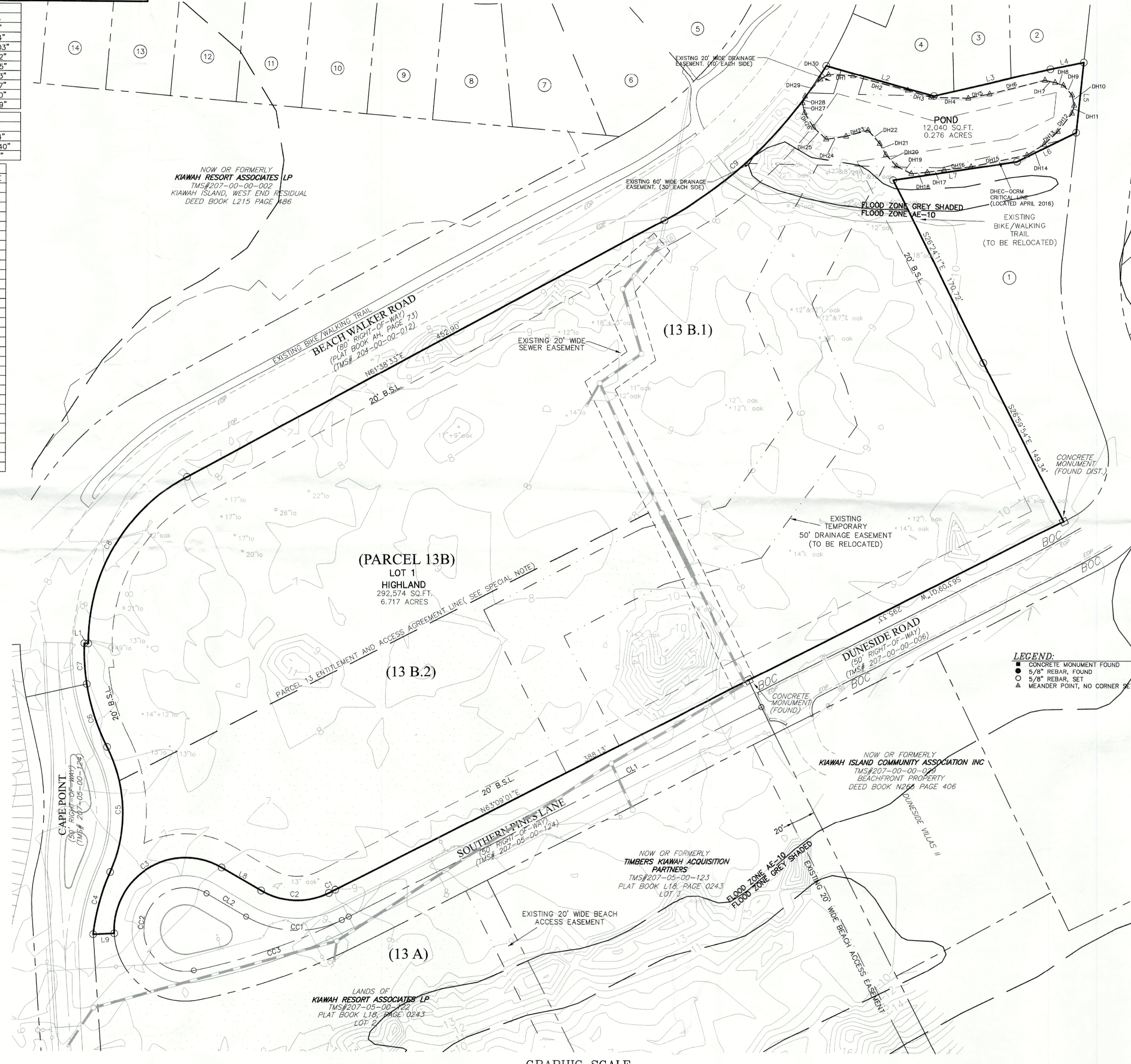
**OWNER REFERENCES:**  
TMS# 207-05-00-118

BEACHWALKER PARCEL 13  
PLAT BOOK L11, PAGE 0226  
PLAT BOOK BS, PAGE 060  
PLAT BOOK L16, PAGE 0413  
PLAT BOOK L17, PAGE 0545  
PLAT BOOK L18, PAGE 0243

**PLAT REFERENCES:**  
PLAT BOOK L11 PAGE 0226 DATED 07/11/2011, PREPARED BY SOUTH EASTERN SURVEYING, INC. OF CHARLESTON, SOUTH CAROLINA.  
PLAT BOOK AJ PAGE 083 DATED 02/12/1977, PREPARED BY COASTAL SURVEYING COMPANY, INC. OF CHARLESTON, SOUTH CAROLINA.  
PLAT BOOK AJ PAGE 037 DATED 02/12/1977, PREPARED BY COASTAL SURVEYING COMPANY, INC. OF CHARLESTON, SOUTH CAROLINA.  
PLAT BOOK AH PAGE 065 DATED 06/17/1976, PREPARED BY COASTAL SURVEYING COMPANY, INC. OF CHARLESTON, SOUTH CAROLINA.  
PLAT BOOK AO PAGE 015 DATED 05/11/1979, PREPARED BY COASTAL SURVEYING COMPANY, INC. OF CHARLESTON, SOUTH CAROLINA.  
PLAT BOOK AO PAGE 090 DATED 05/11/1979, PREPARED BY COASTAL SURVEYING COMPANY, INC. OF CHARLESTON, SOUTH CAROLINA.  
PLAT BOOK L17 PAGE 0545 DATED 10/05/2017, PREPARED BY SWA SURVEYING LLC OF CHARLESTON, SOUTH CAROLINA.  
PLAT BOOK L18 PAGE 0243 DATED 01/31/2018, PREPARED BY SWA SURVEYING LLC OF CHARLESTON, SOUTH CAROLINA.

- NOTE:**
- ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.
  - AREA DETERMINED BY COORDINATE (DMD) METHOD.
  - THE PUBLIC RECORDS REFERENCED ON THE PLAT ARE ONLY THOSE USED AND NECESSARY TO ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
  - PARCEL LINES ARE BASED ON SOUTH CAROLINA STATE PLANE NAD 1983
  - THIS PROPERTY MAY BE SUBJECT TO VARIOUS UTILITY EASEMENTS THAT WERE NOT NOTED IN THE REFERENCED PLATS. THE UTILITIES SHOWN HEREON ARE BASED ON FIELD SURFACE LOCATIONS, AND WERE NOT VERIFIED AS TO DEPTH, SIZE, OR MATERIAL. THIS SURVEY DOES NOT SHOW SUBTERRANEAN UTILITIES.
  - AS PER FLOOD INSURANCE RATE MAP (FIRM) THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE-10 AND SHADED GRAY (BASE FLOOD ELEVATIONS DETERMINED) SHOWN ON MAP NUMBER 15010002000R, PANEL 785 OF 855 DATED JANUARY 29, 2021. FLOOD MAP ELEVATIONS ARE BASED ON NAVD 88.
  - ANY FRESHWATER WETLAND BOUNDARIES OR DHEC-OCRM CRITICAL LINE SHOWN ON THIS SURVEY SHOULD NOT BE CONSIDERED AS A FINAL DEFINED LINE UNLESS THE APPROPRIATE AUTHORITY HAS CERTIFIED THEM ON THIS PLAT.
  - THE ROADWAY SHOWN ON THIS PLAT DOES NOT OBLIGATE THE TOWN OF KIAWAH ISLAND IN ANY WAY TO ACCEPT, FOR MAINTENANCE, ANY OF THE ROADS OR EASEMENTS SHOWN HEREON.
  - ELEVATIONS ARE BASED ON NGVD 29
  - PARCELS ARE LOCATED WITHIN R3/COMMERCIAL PER KIAWAH ISLAND ZONING MAP ADOPTED OCTOBER 5, 2010.
  - TREES SHOWN ON SURVEY WERE TAKEN FROM A TREE AND TOPOGRAPHICAL SURVEY DONE IN 2007 AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION OR EARTHMOVING ACTIVITIES.
  - ALL PROPOSED ACCESS POINTS AND DRIVES ARE TO BE PRIVATE.
  - BUILDING FLOOR AREAS SHOWN ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE.
- SPECIAL NOTE:**  
APPROVAL OF THIS PLAT ADJUSTS THE BOUNDARY OF PARCEL 13 TO CONFORM TO THE LIMITS OF LOTS 1, 2 AND 3 AND THE SOUTHERN PINES LANE RIGHT-OF-WAY. PURSUANT TO NOTE 2 OF EXHIBIT 13.2. PARCEL SPECIFIC DEVELOPMENT STANDARDS AS REFERENCED IN THE AMENDED AND RESTATED DEVELOPMENT AGREEMENT BY AND BETWEEN KIAWAH RESORT ASSOCIATES, LP, AND THE TOWN OF KIAWAH ISLAND DATED DECEMBER 5, 2013.
- VEHICULAR CAR ACCESS TO/ FROM SOUTHERN PINES LANE IS LIMITED TO NO MORE THAN 120 RESIDENTIAL DWELLING UNITS; ALLOCATED WITHIN LOTS 1, 40 DUS AND LOT 2; 80 DUS, AND 30 MEMBER PARKING SPACES. THERE SHALL BE NO MORE THAN FOUR RESIDENTIAL BUILDINGS, INDICATED AS PROPOSED BUILDINGS C,D,E AND F, WITHIN LOT 1 WHICH HAVE VEHICULAR CAR ACCESS TO/ FROM SOUTHERN PINES LANE. LOT 1 SHALL BE LIMITED TO NO MORE THAN 100 ENTITLED DWELLING UNITS.

- SPECIFIC DEVELOPMENT PROVISIONS IMPOSED FOR PARCEL 13:**
- AREAS LIMITED TO NO MORE THAN 120 RESIDENTIAL DWELLING UNITS AND RELATED AMENITIES WITHIN PARCEL 13A AND A PORTION OF PARCEL 13B. THE AREA WITHIN A PORTION OF PARCEL 13B IS LIMITED TO NO MORE THAN 4 RESIDENTIAL BUILDINGS.
  - ADDITIONAL RESIDENTIAL DWELLING UNITS WITHIN PARCEL 13B SHALL BE ACCESSED FROM BEACHWALKER DRIVE AND SHALL NOT HAVE DIRECT VEHICULAR ACCESS TO DUNESIDE ROAD.
  - PARKING FOR BEACH CLUB MEMBERS ACCESSED FROM DUNESIDE ROAD SHALL BE LIMITED TO NO MORE THAN THIRTY (30) SPACES FROM WITHIN PARCEL 13A OR 13B.
  - ADDITIONAL MEMBER PARKING, COMMERCIAL DELIVERIES, SERVICE AND EMPLOYEE ACCESS TO BEACH CLUB SHALL BE FROM CAPE POINT ROAD EXCEPT AS PERMITTED UNDER SECTION 2.d OF THE REFERENCED MOU.
  - ALL COMMERCIAL TRAFFIC ASSOCIATED WITH THE SITE DEVELOPMENT AND CONSTRUCTION OF RESIDENTIAL AND AMENITY STRUCTURES WITHIN PARCELS 13A AND B SHALL BE ACCESSED FROM BEACHWALKER DRIVE OR CAPE POINT ROAD EXCEPT AS PERMITTED UNDER SECTION 2.d OF THE REFERENCED MOU.
  - THE CONNECTION OR OPENING OF SOUTHERN PINES LANE TO DUNESIDE ROAD SHALL NOT OCCUR UNTIL ALL PROPOSED DUNESIDE ROAD AREA SAFETY IMPROVEMENTS HAVE BEEN COMPLETED AS REFERENCED IN THE DUNESIDE ROAD IMPROVEMENTS PROJECT SCORE. THE APPLICANT SHALL SUBMIT EVIDENCE TO THE TOWN OF THE COMPLETED SAFETY IMPROVEMENTS PRIOR TO THE PLANNING COMMISSION APPROVING A FINAL PLAT AND ANY CONNECTION BEING MADE.



**A PRELIMINARY PLAT OF**  
**TMS#207-05-00-118**  
**BEACHWALKER EAST, PARCEL 13B- LOT 1**  
**KIAWAH RESORT ASSOCIATES LP**  
**LOCATED IN THE TOWN OF KIAWAH ISLAND**  
**CHARLESTON COUNTY, SOUTH CAROLINA**